

PUBLIC NOTICE OF MEETING



WOODWAY CITY COUNCIL

AUGUST 10, 2020 – 5:30 P.M.

TAKE NOTICE THAT A REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF WOODWAY, TEXAS, WILL BE HELD VIA ZOOM MEETING, COMMENCING AT 5:30 P.M. ON MONDAY, AUGUST 10, 2020, TO CONSIDER AND ACT UPON ANY LAWFUL SUBJECT WHICH MAY COME BEFORE IT INCLUDING, AMONG OTHERS, THE ITEMS LISTED BELOW.

TO MITIGATE THE SPREAD OF COVID-19, THIS MEETING WILL BE CLOSED TO IN-PERSON ATTENDANCE BY THE PUBLIC. CITY COUNCIL MEMBERS WILL ATTEND VIRTUALLY VIA ZOOM MEETING. CITIZENS MAY JOIN THE ZOOM MEETING BY CALLING 1-888-475-4499, ENTERING THE MEETING ID # 9926081325 AND THE PASSWORD 905053.

THE PUBLIC WILL BE PERMITTED TO SUBMIT WRITTEN COMMENTS ON ITEMS LISTED ON THE AGENDA OR UNDER THE HEAR VISITORS SECTION. PLEASE EMAIL YOUR COMMENT TO PUBLICCOMMENTS@WOODWAYMAIL.ORG NO LATER THAN 3:00 P.M. ON THE DAY OF THE CITY COUNCIL MEETING.

AGENDA

CALL MEETING TO ORDER

INVOCATION

1. Invocation

PRESENTATIONS AND VISITORS

2. Quarterly presentation – Community Services and Development
3. Quarterly presentation – Public Safety Department
4. Hear visitors

This is the portion of the meeting where members of the public may be heard by the Council on any matter which is NOT listed as a separate item on the agenda. If you wish to address an item which is listed on the agenda for this meeting, you will be given an opportunity to speak during consideration of that agenda item

If speaking during “Hear Visitors”, please read: When called to speak, please state your name and address before beginning your comments. Please limit your comments to three (3) minutes per Resolution R-87-11. Under Texas law, the Council and staff are not allowed to enter into a discussion with you or among themselves during this meeting, or take any action other than to provide specific factual information or a recitation of existing applicable policy and, or, discuss whether to place the matter on a future Council agenda. Thank you for your cooperation and understanding.

WOODWAY CITY COUNCIL AGENDA

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August 10, 2020 - 5:30 P.M.

PUBLIC HEARINGS AND RELATED ACTION

5. A. Public hearing on Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court
- B. Discussion and consider action on Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court

ITEMS FOR INDIVIDUAL DISCUSSION, CONSIDERATION AND/OR ACTION

6. Discussion and consider action on Ordinance 20-07, amending and replacing, in its entirety, Chapter 15, Solicitors and Peddlers, of the City of Woodway Code of Ordinances
7. Discussion and consider action on acceptance of Application to Develop in a Planned District (parking lot addition for the First National Bank of Central Texas) Lot 3, Block 8, of the Woodway Center Addition to the City of Woodway, McLennan County, Texas, located at 7500 West Woodway Dr.
8. Discussion and consider action on authorizing the City Manager to enter into an interlocal cooperation agreement regarding street improvements and utility facilities involving the City of Waco
9. Discussion and briefing concerning the Coronavirus (COVID-19) and any actions necessary thereto

CONSENT AGENDA

The Consent Agenda consists of non-controversial, routine and budgeted items which require no public hearing. The Consent Agenda is subject to being approved with one single motion; however, the Mayor or any City Councilmember may remove any item from the Consent Agenda for separate discussion and consideration.

10. A. Discussion and consider action on minutes of the City Council Budget Work Session held July 10, 2020, at 10:30 a.m.
- B. Discussion and consider action on minutes of the regular City Council meeting held July 13, 2020, at 5:30 p.m.
- C. Discussion and consider action on approving return of \$50,000 escrow deposit to the First United Methodist Church of Woodway
11. Discussion and consider action on Consent Agenda

ITEMS RELATED TO PROPOSED 2020/2021 ANNUAL BUDGET AND PROPOSED 2020 AD VALOREM TAX RATE

12. Discussion and consider action on acceptance of 2020 ad valorem tax values as certified by the McLennan County Appraisal District Board of Directors

WOODWAY CITY COUNCIL AGENDA

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August 10, 2020 - 5:30 P.M.

13. Follow-up discussion on proposed annual budget and proposed ad valorem tax rate, and consensus on proposed tax rate
14. Discussion and consider action on proposal to place an action item on a future meeting agenda for the purpose of adopting a 2020 ad valorem tax rate
15. Discussion and consider action on setting the date, time and place for the required public hearing on the proposed 2020 ad valorem tax rate

CITY MANAGER AND CITY COUNCIL REPORTS

16. City Manager's Report (Briefings or updates may be provided regarding City services, administrative/personnel matters, real estate/development, infrastructure, events, regulations, community and intergovernmental relations issues)
17. City Council Reports (Briefings or updates may be provided regarding City Council committee and liaison assignments)

CLOSING ITEMS

18. Consider action on the Open Meetings Act Resolution
19. Consider action on adjournment

I certify that the above notice of meeting was posted at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on the 7th day of August 2020 at 5:00 p.m.



Donna Barkley, City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (254) 772-4480 or FAX (254) 772-0695 for further information.

Community Service Department
Quarterly Report

August 10, 2020



601 SANTA FE



THE OAK BRANCH SUBDIVISION (PUD)

308 BRANCH



309 BRANCH



310 BRANCH



WOODWOY

THE OAK BRANCH SUBDIVISION (PUD)

312 BRANCH



316 BRANCH



318 BRANCH



WOODWOY

THE OAK BRANCH SUBDIVISION (PUD)

321 BRANCH



325 BRANCH



329 BRANCH



WOODWOY

THE OAK BRANCH SUBDIVISION (PUD)

332 BRANCH



333 BRANCH



334 BRANCH



WOODWOY

THE OAK BRANCH SUBDIVISION (PUD)

335 BRANCH



339 BRANCH



WOODWOY

LAKE FOREST ADDITION (PHASE III)

55 CEDAR CREEK COURT



70 CEDAR CREEK COURT



72 CEDAR CREEK COURT



WOODWOY

LAKE FOREST ADDITION (PHASE III)

84 CEDAR CREEK COURT



WOODWOY

161 STONE LAKE



2008 ESTATES DRIVE



2016 ESTATES DRIVE



WOODWOY

9400 RED RIVER



1424 WHITE RIVER



WOODWOY

13909 HARBOR



17006 ESCONDIDA



16005 SORRENTO



WOODWOY

16007 SORRENTO



16027 SORRENTO



15008 ESTANCIA



WOODWAY

16000 TORREY SPRINGS



16003 TORREY SPRINGS



17017 STAR CANYON



WOODWAY

201 CYPRESS COURT



WOODWOY

COMMERCIAL DEVELOPMENT

15130 & 15140 BADGER RANCH BLVD.
(COMMERCIAL OFFICES)



WOODWOY

COMMERCIAL DEVELOPMENT

THE OUTLOOK

BUILDING #2



BUILDING #6



COMMERCIAL DEVELOPMENT

STAYBRIDGE SUITES
205 COLONNADE



CAMP BOW WOW
207 COLONNADE



5901 WOODWAY DRIVE
AMERICAN BANK



CAPITAL IMPROVEMENTS PROJECTS

- Fairway Gravity Sewer Replacement Phase II
- Woodway Street & Utility Improvements
- Hwy 84 Pump Station Improvements
- Woodway Community Services Building Renovations



QUARTERLY FIGURES ATTACHED



QUARTERLY INSPECTION TALLY

Date Range: APRIL through JUNE

BUILDING

Piers:	11
Foundation:	40
Framing:	52
Insulation:	43
Sheathing/Tyvek:	52
Above Ceiling:	0
Final:	24

PLUMBING

Water Heater:	12
Rough:	70
Shower Pan:	10
Top Out:	28
Yard Lines:	30
Gas Test:	13
Custom. Svc Insp:	7
Final:	64

IRRIGATION

Backflow:	23
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ELECTRICAL

Temp. Pole:	25
Rough:	44
Permanent Svc:	20
Final:	38
Commercial RIs:	7

POOL

Reinforcing:	15
Plumbing:	15
Final:	6

DRIVE APPROACH

Pre-pour:	6
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MECHANICAL

Rough:	39
Final:	26

SUBDIVISION

Infrastructure:	0
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WINDOWS

Energy Efficiency:	0
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STORMWATER:	30
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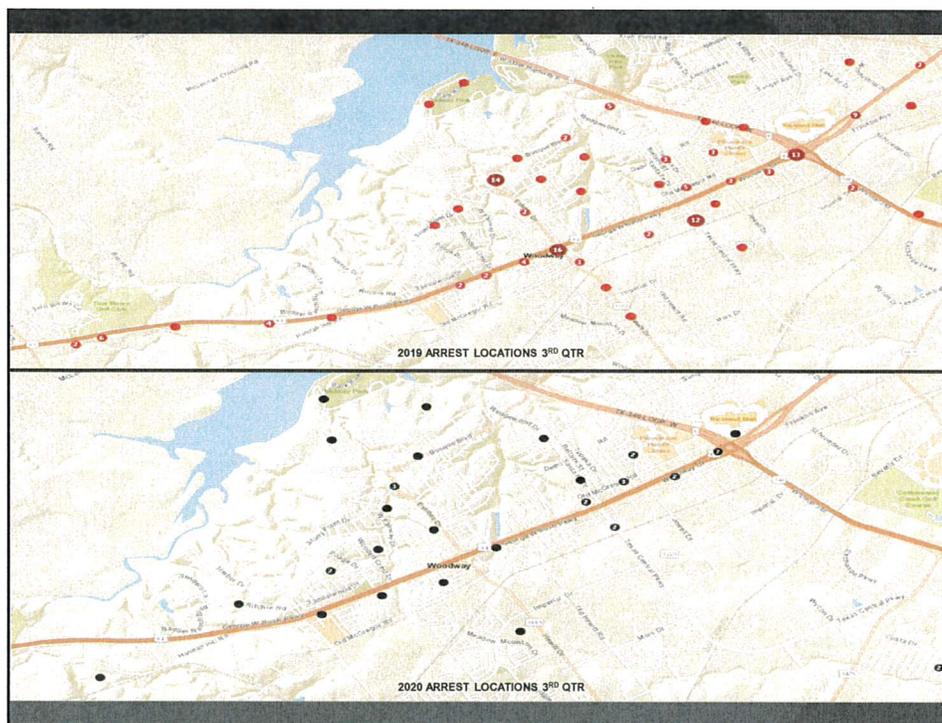
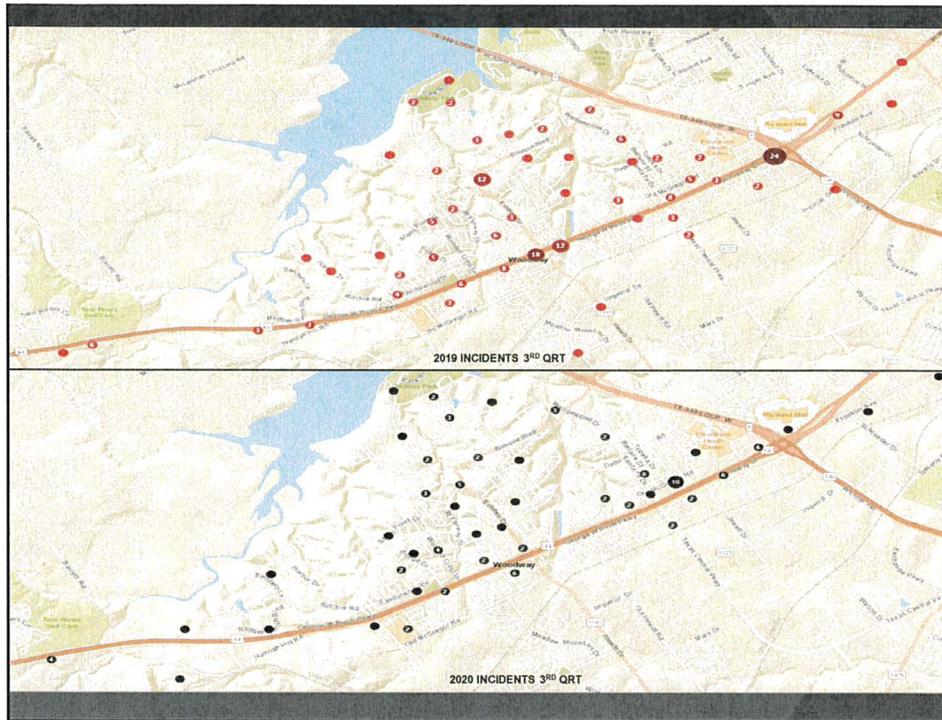
INSPECTION TOTAL:	750
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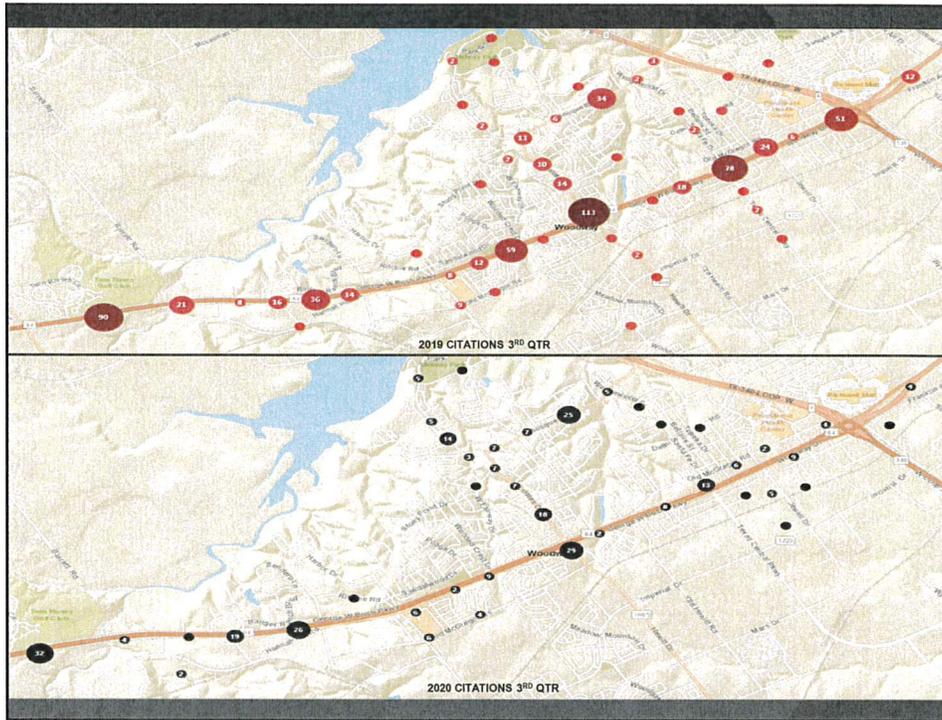
**WOODWAY
PUBLIC SAFETY DEPARTMENT**

Quarterly Comparison Statistics

April 1, - June 30, 2019
April 1, - June 30, 2020

PATROL		
	<u>2019</u>	<u>2020</u>
CALLS FOR SERVICE	7829	6877
INCIDENTS	302	145
TOTAL ARRESTS	174	47
VEHICLE CRASHES	46	30
TRAFFIC CITATIONS	718	221
K9 SEARCHES	20	2
TOTAL DRUGS	1410.1 grams	26.1 grams





	CID	
	<u>2019</u>	<u>2020</u>
TOTAL C.I.D. CASES	40	21
CLEARED BY ARREST	5	2
EXCEPTIONALLY CLEARED	1	1
ACTIVE C.I.D. CASES	22	16
IN-ACTIVE C.I.D. CASES	14	3

CID

TOP FOUR INVESTIGATED OFFENSES

	<u>2019</u>	<u>2020</u>
VCO	293	212
POSSESSION CHILD PORN	4	3
THEFT	13	4
BMV	4	2

CID

CRIMES AGAINST PEOPLE

	<u>2019</u>	<u>2020</u>
SEXUAL ASSAULT	4	1
ASSAULT	0	1
ROBBERY	0	0

CID
BURGLARIES

	<u>2019</u>	<u>2020</u>
BUILDING	0	1
HABITATION	3	2
VEHICLE	0	2

CID
DIGITAL FORENSICS

April 1, 2020 – June 30, 2020	
<u>64</u> Devices at <u>12.92</u> Terabytes	
Total Agencies Assisted:	<u>7</u>

MUNICIPAL COURT

	<u>2019</u>	<u>2020</u>
CASES FILED	903	250

COMMUNICATIONS CALLS FOR SERVICE

	<u>2019</u>	<u>2020</u>
POLICE	7575	6638
FIRE	131	55
EMS	116	88
CODE ENFORCEMENT	124	82



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Mitch Davison

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

- A. Public hearing on Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.
- B. Discussion and consider action on Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.

Background Information:

Nicholas Cobb (applicant) submitted an Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.

City staff has requested that the applicant be present to answer any questions from the City Council.

After conducting the first required public hearing, the plans have been reviewed by the City Engineer and City Staff and found to be in compliance with City Ordinances. The Planning and Zoning Commission took action to recommend approval of the Application to Develop on July 14, 2020, as submitted. The recommendation *includes* the city to ensure water calculations are not throwing more water onto the private street.

Financial Impact:

Total of proposed expenditure: N/A
 Amount budgeted:
 Account number:
 If not budgeted, other funding options:

Staff Recommendation:

- A. Conduct a public hearing.
- B. Recommend the Council to approve or disapprove the request for an Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.



APPLICATION TO DEVELOP IN A PLANNED DISTRICT

This application is pursuant to Section 2.2 of the City of Woodway Code of Ordinances, Appendix A-Zoning. All applicants are encouraged to review this section and discuss the request with the Director of Community Services prior to submittal of application.

NOTE: Application must be submitted with a FEE OF \$300.00 and RECEIVED AT LEAST 25 DAYS in advance of the first public hearing by mail or in person to: Community Services, City of Woodway, 924 Estates Drive, Woodway, Texas, 76712. Applications submitted on the 25th day before the first hearing date must be received by 3 p.m. to allow staff sufficient time to meet newspaper deadlines and mail notices as required by law.

PART I – TO BE COMPLETED BY APPLICANT

(1) PERSON, FIRM OR CORPORATION DESIRING TO ERECT/MODIFY BUILDING(S) OR GROUNDS WITHIN A PLANNED DISTRICT:

X Heart of Texas Smiles

(2) APPLICANT INFORMATION:

Mailing Address: 113 Burnett Court, Woodway, Tx 76712

Telephone: (254) 776-3310 Fax: (254) 224 6066

Email: X ncoobb@heartofTEXASsmiles.com

If firm or corporation, name of contact person: Nicholas Cobb
(This individual will be contacted by City Staff on all matters regarding this application.)

(3) PROPERTY DESCRIPTION:

Lot: 13 Block: 1

Name of Addition: Burnett Addition

PLEASE PROVIDE ACREAGE DESCRIPTION IF NOT PLATTED INTO A LOT AND BLOCK:

_____ ACRE(S) IN THE _____ SURVEY

(If property is not platted, an acreage description a.k.a. field notes must be provided with the application as the wording must be included in the public hearing notice as required by law.)

Physical Address of Property: 117 Burnett Court

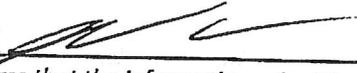
 Brief Description of Property: _____

(4) IS THIS YOUR ORIGINAL REQUEST TO DEVELOP ON THIS SITE? YES or NO

(5) APPLICATION MUST BE SUBMITTED WITH (2) COPIES OF THE SITE PLAN SHOWING THE FOLLOWING ITEMS AND MUST INCLUDE THE ENTIRE PARCEL OF PROPERTY UPON WHICH THE APPLICANT DESIRES TO DEVELOP:

- (6)
- In detail, the manner in which the land is to be used
 - Provision for service areas
 - Provision for landscaping
 - Provision for off-street parking
 - Character & appearance of the Building(s)
 - Elevations
 - Floor Plan
 - Size of the building(s)
 - Location of the building(s)
 - 11x17 copies of plans

(For more detail, please see the attached City of Woodway Ordinances Sec. 2.10: Site Development Plans)

SIGNATURE OF APPLICANT: X 

By signing above, the applicant affirms that the information submitted is true and correct and affirms that the owner (if the applicant is not the owner of the property) has been made aware of this request and fully supports the proposed development.)

NOTE:

IT IS IMPERATIVE THAT THE APPLICANT OR AN INFORMED REPRESENTATIVE OF THE APPLICANT BE PRESENT AT THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL MEETINGS TO EXPLAIN THE PLANS IN DETAIL AN DETAIL AND ANSWER ANY QUESTIONS.

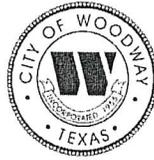
PART II – THIS SECTION TO BE FILLED OUT BY CITY OF WOODWAY STAFF

TENTATIVE schedule for Planning & Zoning Commission and City Council

Acceptance of application by City Council	7/13/20
Action by P&Z regarding recommendation to City Council	7/14/20
Final action by City Council	8/16/20

Application received by	<u>KR</u> 7/17/20 2pm
\$300.00 application fee paid	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Forward for review processing to	<u>C. Turnmire</u>
Schedule dates provided to	
Information provided by	<u>A. Novak</u>

NOTICE OF PUBLIC HEARINGS



Application to Develop in a Planned District

Notice is hereby given to all interested persons that the Planning and Zoning Commission of the City of Woodway, Texas, will conduct a public hearing in the Donald J. Baker Council Chambers at Woodway City Hall, 922 Estates Drive, Woodway, Texas, at 5:30 p.m. on Tuesday, July 14, 2020, on the following request:

Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court

The Woodway City Council is scheduled to conduct a public hearing on the request noted above in the Donald J. Baker Council Chambers at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on Monday, August 10, 2020, at 5:30 p.m., and afterwards is scheduled to consider the recommendations of the Planning and Zoning Commission and take final action on the request.

For additional information related to this request, please contact Mitch Davison, Director of Community Services and Development, 924 Estates Drive, Woodway, Texas (254-772-4050).

This notice was posted at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on the 23rd day of June 2020 at 5:00 p.m.


Donna Barkley, City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (254) 772-4480 or FAX (254) 772-0695 for further information.



Part of the City's public hearing process includes mailing notices to the owners of all parcels of property (in the Woodway city limits) that are within 200 feet of the subject property. (We utilize McLennan County Appraisal District records - the most recently approved municipal tax roll - to compile the mailing list.) If you no longer own property within 200 feet of the subject property shown on this map, you may assist by forwarding this notice to the current owner; however, notices are also posted at Woodway City Hall and advertised in the official newspaper of the City, as required by law, to insure all notification requirements are met.

Packet Pg. 26

APPLICATION TO DEVELOP IN A
PLANNED DISTRICT
Lot 13, Block 1, Burnett Addition
(Dental Clinic)

Cobb Properties, LLC
5925 Mt. Rockwood Circle
Waco, TX 76710

BNH Investments, LTD
375 Stevens Ln.
McGregor, TX 76657

Woodway Geniuschild LLC
2604 Anders Ln.
Plano, TX 75093

Two Cronies, LTD
P.O. Box 23382
Waco, TX 76702

Lonnie Olander, et ux
9609 Fair Circle
Woodway, TX 76712

Daniel and Mary Beard
9601 Fair Circle
Woodway, TX 76712

Anthony and Marie Ann Garcia
9600 Bryce Dr.
Woodway, TX 76712

Esmeralda Reyes
9608 Bryce Dr.
Woodway, TX 76712

Rachel and John Van Pelt
9609 Bryce Dr.
Woodway, TX 76712

George Stauber, et ux
9601 Bryce Dr.
Woodway, TX 76712

David and Trisha LaPierre
9600 Jimmark Circle
Woodway, TX 76712

Richard Ellis, et ux
9537 Bryce Dr.
Woodway, TX 76712

GK and TK Enterprises, LLC
9500 Casa Grande
Waco, TX 76712

Jessie Baker and Meredith Sexton
9519 Bryce Dr.
Woodway, TX 76712

Larry Davis Storer
9511 Bryce Dr.
Woodway, TX 76712

Charles and Brooke Ramsey Living Trust
Charles and Brooke Ramsey Trustees
292 Willow Grove Rd.
Waco, TX 76712

Rachel and Russell Harlow, et al
306 Sharron Dr.
Woodway, TX 76712

David and Patricia Agado
300 Sharron Dr.
Woodway, TX 76712

Timothy Griesse
905 Arlington Dr.
Woodway, TX 76712

Equity Trust Co.
DBA Sterling Trust Custodian FBO
Home Abstract Title Account #AO8573
P.O. Box 21145
Waco, TX 76702

Nicholas Cobb, DDS PA
10133 Wildberry Ln.
Waco, TX 76712

Nicholas Cobb
113 Burnett Court
Woodway, TX 76712

HEART OF TEXAS SMILES DENTAL CLINIC

WOODWAY, TEXAS

DRAWING INDEX

- C100 VICINITY MAP
- C101 GENERAL NOTES & LEGEND
- C200 EXISTING SURVEY
- C201 DEMOLITION AND EROSION CONTROL PLAN
- C300 SITE PLAN
- C301 DIMENSIONAL CONTROL PLAN
- C302 GRADING PLAN
- C400 UTILITY PLAN
- C500 PRE-CONSTRUCTION DRAINAGE AREA MAP
- C501 POST-CONSTRUCTION DRAINAGE AREA MAP
- C502 DETENTION POND CALCULATIONS
- C503 DETENTION POND DETAIL
- C504 DRAINAGE PLAN
- C600-C610 CIVIL DETAILS



Submitted for Approval:

DAVID L. MAREK, P.E.



12 JUNE 2020

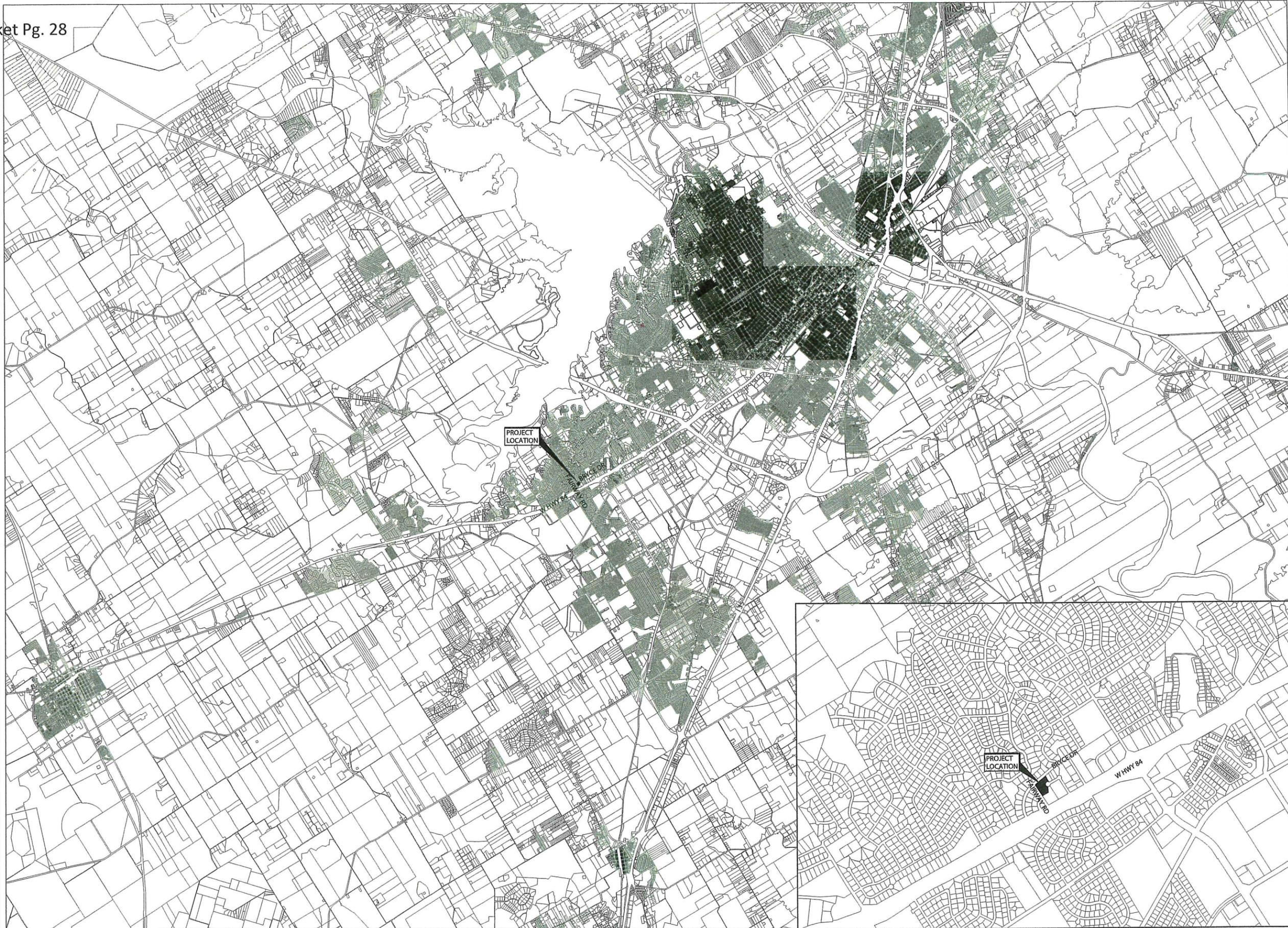
*THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY
DAVID L. MAREK
#63327
ON THE DATE SHOWN ON THE DATE STAMP.
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE
ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.*



CP&Y, INC.

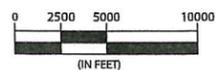
TEXAS REGISTERED
ENGINEERING FIRM
F-1741

REV	DATE	BY	DESCRIPTION	SHEETS MODIFIED
2	7-15-2020	ECM	DRAINAGE MODIFICATIONS	C300-C302, C400, C501-C504, C603-C605
1	8-30-2020	ECM	CITY REVIEW 1	C300-C302, C400, C501-C504, C603



06-12-2020
DATE NAME *DLM*

"THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK #83327 ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT"



KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR

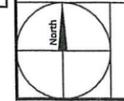


CP&Y, INC.

TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

VICINITY MAP



C100

① VICINITY MAP

A.R.V.	AIR RELEASE VALVE
B.L.	BUILDING LINE
BL	BENCHMARK
B.O.C.	BACK OF CURB
B.O.V.	BLOWOFF VALVE
BRG.	BEARING
B.V.	BUTTERFLY VALVE
C-C	CENTER TO CENTER
C.A.V.	COMBINATION AIR RELEASE VALVE
CFS	CUBIC FEET PER SECOND
C.I.	CAST IRON
C.J.	CONTROL JOINT
C	CENTERLINE
CLBM	CRUSHED LIMESTONE BASE MATERIAL
CMP	CORRUGATED METAL PIPE
CIO	CLEAN OUT
CY	CUBIC YARD
C&G	CONCRETE CURB & GUTTER
CONC	CONCRETE
CTR.	CENTER
DBL	DOUBLE
DA	DRAINAGE AREA
D.E.	DRAINAGE EASEMENT
DET.	DETAIL
DIA.	DIAMETER
DIP	DUCTILE IRON PIPE
E.	EAST
E.J.	EXPANSION JOINT
EA	EARTH
ELEV.	ELEVATION
E.O.P.	EDGE OF PAVEMENT
EQ.	EQUAL
ER	END RETURN
E.W.	EACH WAY
EX.	EXISTING
F.H.	FIRE HYDRANT
FL	FLOW LINE
F.O.C.	FACE OF CURB
FDN.	FOUNDATION
FG	FINISHED GROUND
FT.	FOOT (FEET)
GALV.	GALVANIZED
G.V.	GATE VALVE
GRND.	GROUND
H.P.	HORSE POWER
HW	HEAD WATER
HWL	HIGH WATER LEVEL
HGT.	HEIGHT
HGL	HYDRAULIC GRADE LINE
HMAC	HOT-MIXED ASPHALTIC CONCRETE
HZ.	HORIZONTAL
I.D.	INSIDE DIAMETER
IN.	INCH
INCL.	INCLUDE(D) (ING)
INV.	INVERT
JT.	JOINT
L.	LENGTH
L.F.	LINEAR FOOT
L.O.G.	LIP OF GUTTER
LT.	LEFT
LWL	LOW WATER LEVEL
MTL.	MATERIAL
MAX.	MAXIMUM
MED.	MEDIUM
M.H.	MANHOLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.P.	MID POINT
N.	NORTH
NG	NATURAL GROUND
N.T.S.	NOT TO SCALE
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
O.D.	OUTSIDE DIAMETER
PC	POINT OF CURVATURE
P.G.L.	PROPOSED GRADE LINE
POB	POINT OF BEGINNING
PRC	POINT OF REVERSE CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
P.U.E.	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INFLECTION
PVT	POINT OF VERTICAL TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RE	REFERENCE
REINF.	REINFORCE(D)
REQ'D	REQUIRED
REV.	REVISION
R.O.W.	RIGHT OF WAY
RP	RADIUS POINT
R.	RIGHT
S.	SOUTH
SAN SEW	SANITARY SEWER
S.D.	STORM DRAIN
SF	SQUARE FOOT
SY	SQUARE YARD
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
STA.	STATION
STD.	STANDARD
SYM.	SYMMETRICAL
SYS.	SYSTEM
TAS	TERMINAL ANCHOR SECTION
TBM	TEMPORARY BENCHMARK
TC-	TOP OF CURB
T.O.B.	TOP OF BANK (BERM)
T.O.G.	TOP OF GRATE
T.O.S.	TOE OF SLOPE
TEL.	TELEPHONE
THK.	THICK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.	VELOCITY
VERT.	VERTICAL
W	WEST
WI	WITH
W/O	WITHOUT
W.S.E.L.	WATER SURFACE ELEVATION
WT.	WEIGHT

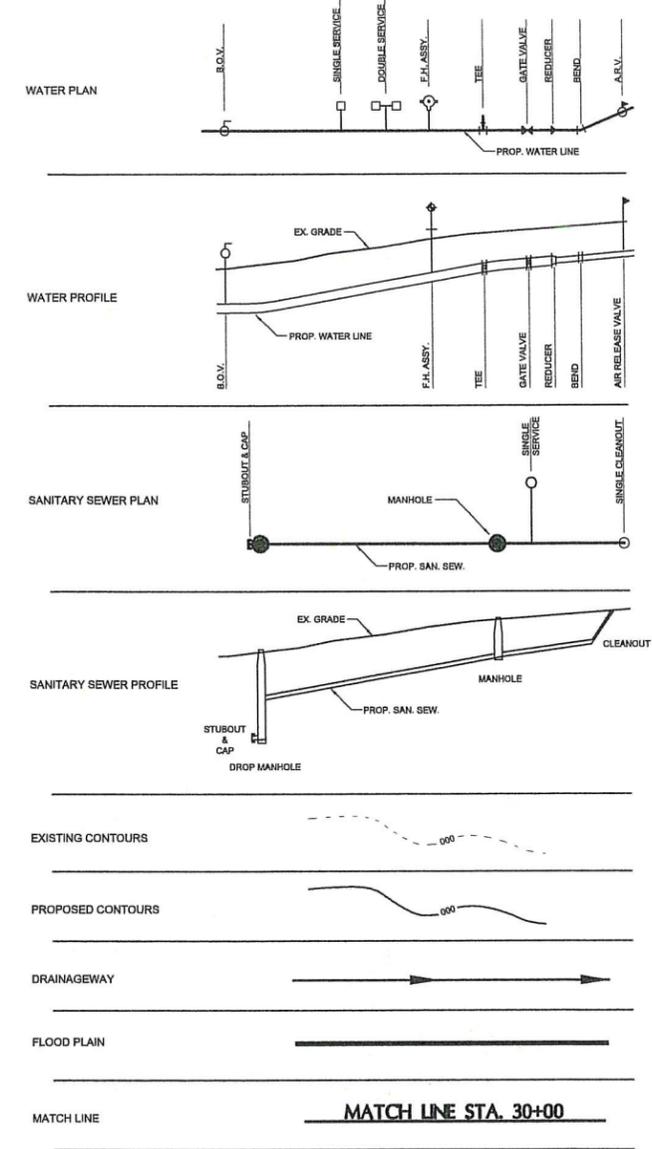
TOPOGRAPHIC SURVEY LEGEND

●	= 1/2" DIAMETER REBAR FOUND, UNLESS OTHERWISE NOTED
○	= 1/2" DIAMETER REBAR WITH CAP PLACED, UNLESS OTHERWISE NOTED
■	= 1/2" DIAMETER REBAR FOUND IN CONCRETE, UNLESS OTHERWISE NOTED
□	= 1/2" DIAMETER REBAR PLACED IN CONCRETE, UNLESS OTHERWISE NOTED
M.C.D.R.	= McLENNAN COUNTY DEED RECORDS
M.C.O.P.R.	= McLENNAN COUNTY OFFICIAL PUBLIC RECORDS
()	= DEED CALL/PLATTED CALL
[]	= ADJOINER CALL
-WW-	= SANITARY SEWER LINE
⊙	= SANITARY SEWER MANHOLE
⊙	= SANITARY SEWER CLEANOUT
-E-	= OVERHEAD ELECTRIC LINE
-U/E-	= UNDERGROUND ELECTRIC LINE
⚡	= POWER POLE
☆	= LIGHT POLE
←	= GUY WIRE
TV	= TELEVISION RISER
-T-	= OVERHEAD TELEPHONE LINE
-U/T-	= UNDERGROUND TELEPHONE LINE
TV	= TELEPHONE RISER
⊙	= TELEPHONE MANHOLE
-SD-	= STORM SEWER LINE
⊙	= STORM DRAIN MANHOLE
⊙	= GAS LINE
⊙	= GAS METER
-W-	= WATER LINE
⊙	= WATER METER
M	= WATER VALVE
⊙	= FIRE HYDRANT
⊙	= WATER SPRINKLER
⊙	= WATER SPRINKLER CONTROL VALVE
⊙	= TEMPORARY BENCHMARK
⊙	= SIGN
⊙	= MAILBOX
⊙	= SOIL BORING
⊙	= TREE
⊙	= SHRUB
-X-	= FENCE
▒	= ASPHALT
▒	= CONCRETE
▒	= COVERED AREA
---	= PROPERTY LINE

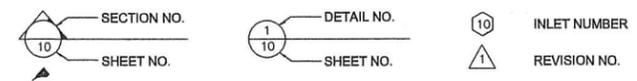
MATERIALS LEGEND

	GRAVEL
	ROCK RIPRAP, GABIONS
	PAVEMENT
	CONCRETE
	CRUSH LIMESTONE
	SAND
	FILL, HORIZONTAL
	NATURAL GROUND
	COMPACTED FILL (SUBGRADE)

DESIGN LEGEND



PLAN INFORMATION LEGEND



BENCH MARK LIST

T.B.M. #	DESCRIPTION
TBM 1:	ELEVATION 662.63' CUT BOX WITH 'X' - AT BURNETT CIRCLE ROUNDABOUT, IN SOUTHWEST CURB RETURN AT SCHOOL ENTRANCE
TBM 4:	ELEVATION 652.41' CUT BOX WITH 'X' - IN TOP OF CURB AT THE EAST SIDE OF FAIRWAY ROAD AND BRYCE DRIVE INTERSECTION

BASIS OF BEARINGS

THE COORDINATES SHOWN HEREON ARE IN GRID AND BASED ON GPS OBSERVATIONS, AND THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983. ALL DISTANCES AND AREAS SHOWN ARE BASED ON US SURVEY FEET.

GENERAL NOTES

ALL WORK WILL BE DONE IN ACCORDANCE WITH DETAILS & SPECIFICATIONS FOR THIS PROJECT. ANY DEVIATION FROM THE STANDARDS MUST BE SUBMITTED TO THE PROJECT ENGINEER FOR APPROVAL. ALL PUBLIC IMPROVEMENTS INCLUDING STREETS, UTILITIES AND DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS TO CITY OF WOODWAY SUBDIVISION ORDINANCE FOR PUBLIC WORKS CONSTRUCTION.

CONTRACT ADMINISTRATION - THE CONTRACT IS A WRITTEN AGREEMENT BY WHICH THE CONTRACTOR HAS COMMITTED TO COMPLETE THE SPECIFIC SCOPE OF WORK, IN COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, SCHEDULE, AND ALL APPLICABLE LAWS, RULES AND REGULATIONS. COMPENSATION FOR SAID WORK SHALL BE MADE AS DESCRIBED IN THE AGREED UPON PROPOSAL.

ANY REQUEST FOR CHANGE TO THE DESIGN, SCHEDULE, OR PROJECT COST MUST BE MADE IN WRITING AND APPROVED PRIOR TO IMPLEMENTATION.

SUBMITTALS - THE CONTRACTOR SHALL SUBMIT, WITHIN 10 DAYS OF THE EFFECTIVE DATE OF NOTICE TO PROCEED:

THE NAME AND CONTACT INFORMATION OF THE PROJECT SUPERINTENDENT;
THE NAME AND CONTACT INFORMATION OF THE EMERGENCY CONTACT.
THE NAME, QUALIFICATIONS, AND CONTACT INFORMATION OF THE SAFETY REPRESENTATIVE(S);
THE NAME AND CONTACT INFORMATION FOR THE DESIGNATED PROJECT MANAGER FOR THIS CONTRACT.

ENVIRONMENTAL AND SAFETY PLANS
THE CONTRACTOR SHALL SUBMIT FOR APPROVAL ALL REQUIRED ENVIRONMENTAL AND SAFETY PLANS FOR THE COMPLETION OF THE WORK. THE WORK WILL NOT BE PERMITTED TO BEGIN UNTIL ALL RELATED PLANS HAVE BEEN REVIEWED AND APPROVAL BY THE APPROPRIATE PARTY (IES).

TRAFFIC CONTROL PLAN (TCP) - WHEN REQUIRED, THE CONTRACTOR IS RESPONSIBLE TO SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL. THE PLAN SHALL BE BASED UPON APPLICABLE CITY AND STATE REQUIREMENTS AND ESTABLISHED STANDARDS.

THE CONTRACTOR IS RESPONSIBLE TO MONITOR THE PLAN AS THE WORK PROGRESSES AND SUBMIT MODIFICATIONS FOR APPROVAL AS NEEDED.

THE CONTRACTOR IS ALSO RESPONSIBLE TO INSURE THE INSPECTOR IS PROVIDED A COPY OF THE SIGNED PLAN PRIOR TO BEGINNING WORK.

TRENCH SAFETY PLANS

WHEN REQUIRED BY THE WORK, THE CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN FOR APPROVAL. THE PLAN SHALL INCLUDE THE RECOMMENDED SAFETY PROTECTION MEASURES WITH THE APPROPRIATE LOADING REQUIREMENTS. THE CONTRACTOR SHALL ENSURE THAT THE PROTECTIVE MEASURES LOCATED ON SITE AND ALL PROCEDURES ON THE PROJECT ARE IN COMPLIANCE WITH ALL ASPECTS OF THE PLAN.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS. ALL RELATED DOCUMENTATION WILL BE MADE AVAILABLE TO THE INSPECTOR ON DAILY BASIS. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL RELATED DOCUMENTATION TO THE OWNER UPON REQUEST.

STORM WATER POLLUTION PREVENTION PLAN (EROSION CONTROL PLAN)

THE CONTRACTOR SHALL SUBMIT A STORM WATER POLLUTION PREVENTION PLAN (EROSION CONTROL PLAN) FOR APPROVAL. THE PLAN SHALL BE BASED UPON APPLICABLE CITY, STATE, AND FEDERAL REQUIREMENTS AND ESTABLISHED STANDARDS.

THE CONTRACTOR IS RESPONSIBLE TO MONITOR THE PLAN AS THE WORK PROGRESSES AND SUBMIT MODIFICATIONS FOR APPROVAL AS NEEDED.

THE CONTRACTOR IS ALSO RESPONSIBLE TO ENSURE THE INSPECTOR IS PROVIDED A COPY OF THE SIGNED PLAN PRIOR TO BEGINNING WORK.

WATER LINES

SHALL HAVE A MINIMUM COVER OF 3.0' BELOW FINISHED STREET GRADE UNLESS OTHERWISE SPECIFIED.

EXISTING FIRE HYDRANTS THAT ARE TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE CITY OF WOODWAY.

UTILITIES

EXISTING UTILITIES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED FROM UTILITY COMPANY RECORDS AND INVESTIGATION. THE UTILITY LINE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND ARE FURNISHED AS A GUIDE FOR THE CONTRACTOR. THE CONTRACTOR WILL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES BEFORE BEGINNING EXCAVATION.

GAS LINES TO BE RELOCATED OR ADJUSTED BY OTHERS. TELEPHONE LINES TO BE RELOCATED OR ADJUSTED BY OTHERS. UTILITY POLES TO BE RELOCATED BY OTHERS.

THE CONTRACTOR SHALL NOTIFY, (SEE DETAILED LIST BELOW), PRIOR TO STARTING CONSTRUCTION ON ANY STREET IN THE VICINITY OF ANY EXISTING UTILITIES SO THAT ANY ADJUSTMENTS OF EXISTING UTILITIES THAT HAVE NOT PREVIOUSLY BEEN MADE CAN BE MADE PRIOR TO CONSTRUCTION.

THE APPROPRIATE CONTACT PEOPLE FOR UTILITIES ARE AS FOLLOWS:

UTILITY COMPANIES	ONE CALL NOTIFICATION CENTERS
AT&T HUGH NIelsen - (254) 715-7869	LEVEL THREE COMMUNICATIONS HUGH NIelsen - (512) 656-4763
ONCOR ELECTRIC DREW CRAWFORD - (254) 750-5249	CITY OF WACO TRAFFIC CONDUIT & ELECTRICAL BILLY DEHART - (254) 749-4087
ATMOS GAS RICK SULAK - (254) 744-0579	TIME WARNER CABLE JOHNNY TINDALE - (254) 761-3806
MCI FRANK WALKER - (254) 753-3442	GRANDE COMMUNICATIONS JOHNNY HUTYRA - (254) 235-2072
CITY OF WOODWAY WATER DISTRIBUTION JOHN NORMAN - (254) 772-4050	CITY OF WOODWAY SANITARY SEWER JOHN NORMAN - (254) 772-4050
MCLEOD USA (PAETEC) TRACY COVINGTON - (512) 834-1469	

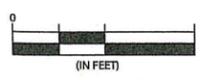
SPECIAL NOTES

- ACCURACY OF EXISTING WATER LINES, GAS LINES, UNDERGROUND TELEPHONE, FIBER OPTIC AND OTHER UTILITIES SHOWN ON THE PLANS SHOULD BE VERIFIED BY THE CONTRACTOR BEFORE DIGGING.
- DEPTHS OF EXISTING UTILITIES IN MOST CASES ARE ASSUMED, AND ARE NOT VERIFIED.
- ALL EXCESS EXCAVATED MATERIAL, NOT SUITABLE FOR BACKFILL IS TO BE REMOVED AND DISPOSED OF OFFSITE BY THE CONTRACTOR, INCLUDING CURB AND GUTTER AND DRIVE APPROACHES.
- ALL IMPROVEMENTS REMOVED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED OR RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL TESTING MUST BE IN ACCORDANCE WITH CURRENT (TCEQ) REGULATIONS.
- EXCAVATION IN EXISTING DRIVEWAYS SHALL BE BACKFILLED AND REPAIRED TO EXISTING CONDITION.
- CONTRACTOR SHALL SHAPE EMBEDMENT MATERIAL TO ACCOMMODATE THE BELLED JOINTS OF PIPES TO INSURE SUPPORT THROUGHOUT THEIR LENGTHS. BELLED JOINTS SHALL HAVE A MINIMUM OF 2" OF FILL BENEATH THEM.
- IF EXCAVATED MATERIAL IS NOT ACCEPTABLE TO THE ENGINEER FOR BACKFILL, THE CONTRACTOR SHALL PROVIDE SELECT IMPORT MATERIAL AS REQUIRED. ALL BACKFILL MATERIAL IS SUBSIDIARY TO THE PRICE OF PIPE IN PLACE.
- MAX JOINT DEFLECTION SHALL BE HALF THE MANUFACTURER RECOMMENDED MAXIMUM.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE REVEGETATED. REVEGETATION OF ALL DISTURBED OR EXPOSED AREAS SHALL CONSIST OF SODDING, SEEDING OR HYDROMULCH, AT THE CONTRACTORS OPTION. HOWEVER, REVEGETATION MUST BE EQUAL OR EXCEED THE TYPE OF VEGETATION PRESENT BEFORE CONSTRUCTION. REVEGETATION SHALL BE SUBSIDIARY TO INSTALLATION OF PIPELINE AND NOT AN ADDITIONAL PAY ITEM.
- MECHANICAL EQUIPMENT ON THE ROOF, GROUND OR BUILDING SHALL BE LOCATED OR SCREENED COMPLETELY FROM VIEW WHEN OBSERVED FROM 6' ABOVE GROUND LEVEL AT ANY POINT ALONG THE PROPERTY LINE ADJACENT TO AND ABUTTING EACH PUBLIC STREET RIGHT OF WAY AND LOCATED OR SCREENED SO AS NOT TO BE VISIBLE WHEN OBSERVED FROM 6' ABOVE GROUND LEVEL AT ANY POINT ALONG THE PROPERTY LINE OF A RESIDENTIAL AREA ADJACENT TO AND ABUTTING ANY RESIDENTIAL AREA. MECHANICAL EQUIPMENT SELECTED FOR INSTALLATION SHALL NOT BE OFFENSIVE OR CREATE A NUISANCE WITH REGARD TO NOISE, ODOR OR DUST.

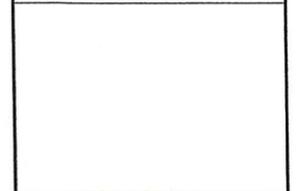


06-12-2020
DATE NAME

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ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



KEY PLAN



HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR

CP&Y, INC.

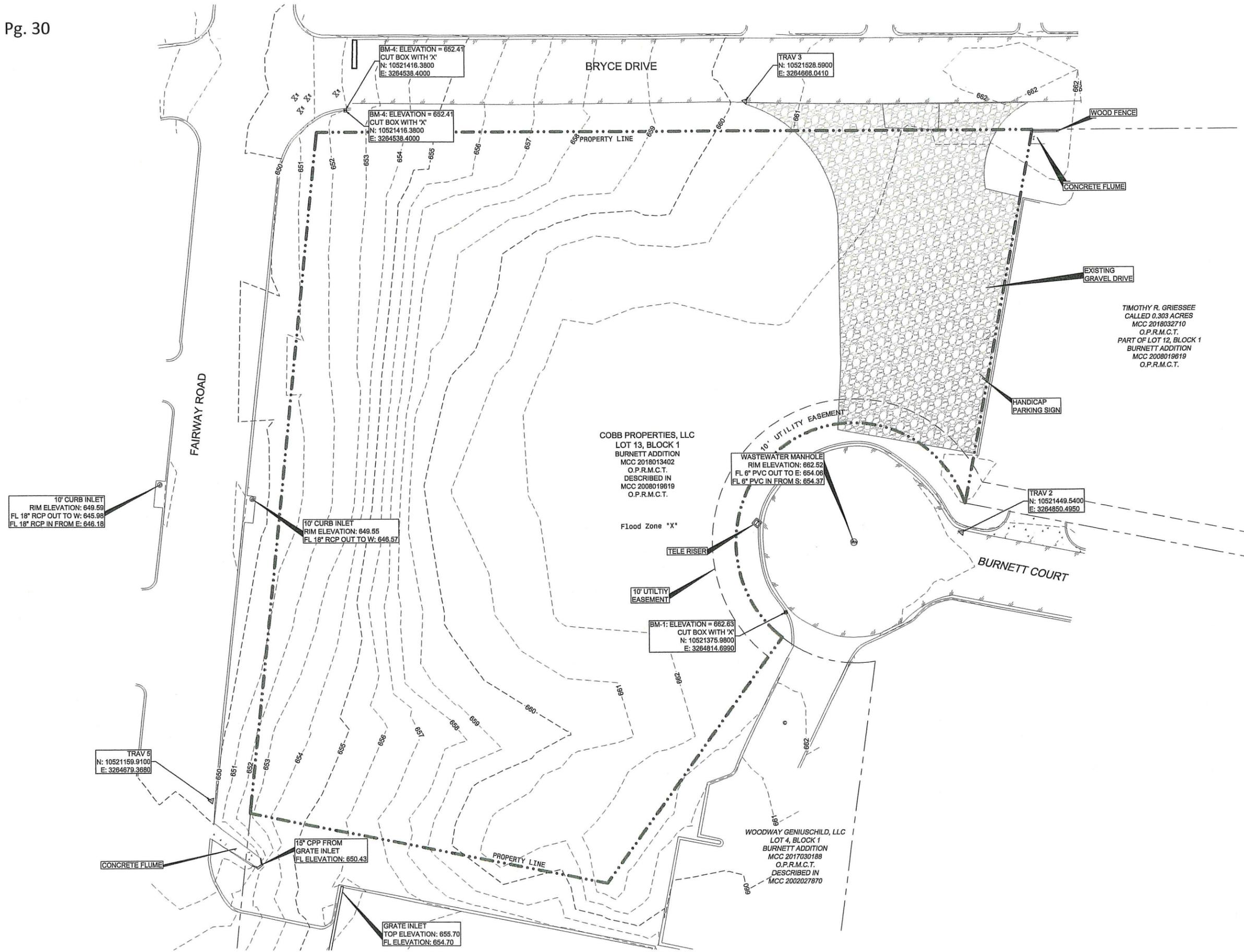
TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

GENERAL NOTES & LEGEND

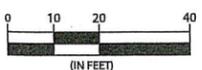
North

C101



DATE: 06-12-2020
 NAME: [Signature]

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KEY PLAN

TIMOTHY R. GRIESSEE
 CALLED 0.303 ACRES
 MCC 2018032710
 O.P.R.M.C.T.
 PART OF LOT 12, BLOCK 1
 BURNETT ADDITION
 MCC 2008019619
 O.P.R.M.C.T.

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR

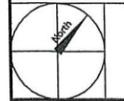


CP&Y, INC.

TEXAS REGISTERED ENGINEERING FIRM
 F-1741

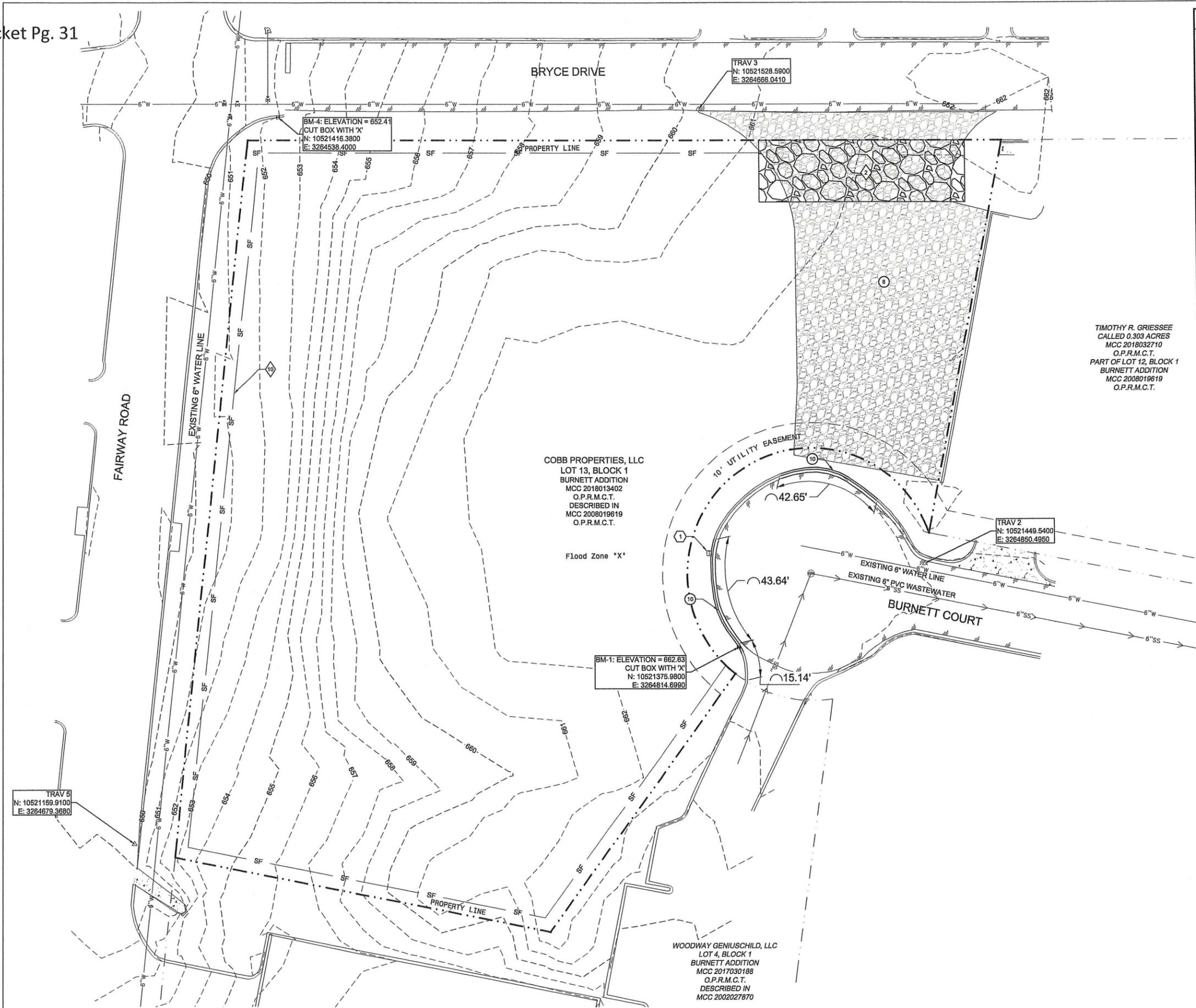
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EXISTING SURVEY



C200

1 EXSITING SURVEY
 SCALE: 1" = 20'



DEMOLITION CALLOUTS

- 8 1092 SY EXISTING GRAVEL DRIVE TO BE REMOVED
- 10 EXISTING CURB TO BE REMOVED

EROSION CONTROL CALLOUTS

- 2 CONSTRUCTION ENTRANCE
- 10 SILT FENCE

SPECIAL PROJECT NOTE

- 1 CONTRACTOR TO COORDINATE RELOCATION OF TELEPHONE RISER WITH UTILITY SUPPLIER.

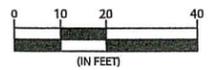
!!!CAUTION!!!
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!!!WARNING!!!
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KEY PLAN

HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

DATE	ISSUED FOR

CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HTSS1900768 PM: DLM
CK BY: DLM DN BY: ECM

DEMOLITION & EROSION CONTROL PLAN

C201

COBB PROPERTIES, LLC
LOT 13, BLOCK 1
BURNETT ADDITION
MCC 2018013402
O.P.R.M.C.T.
DESCRIBED IN
MCC 2008019619
O.P.R.M.C.T.

Flood Zone "X"

BM-1: ELEVATION = 662.63
CUT BOX WITH 'X'
N: 10521375.9800
E: 3264814.6990

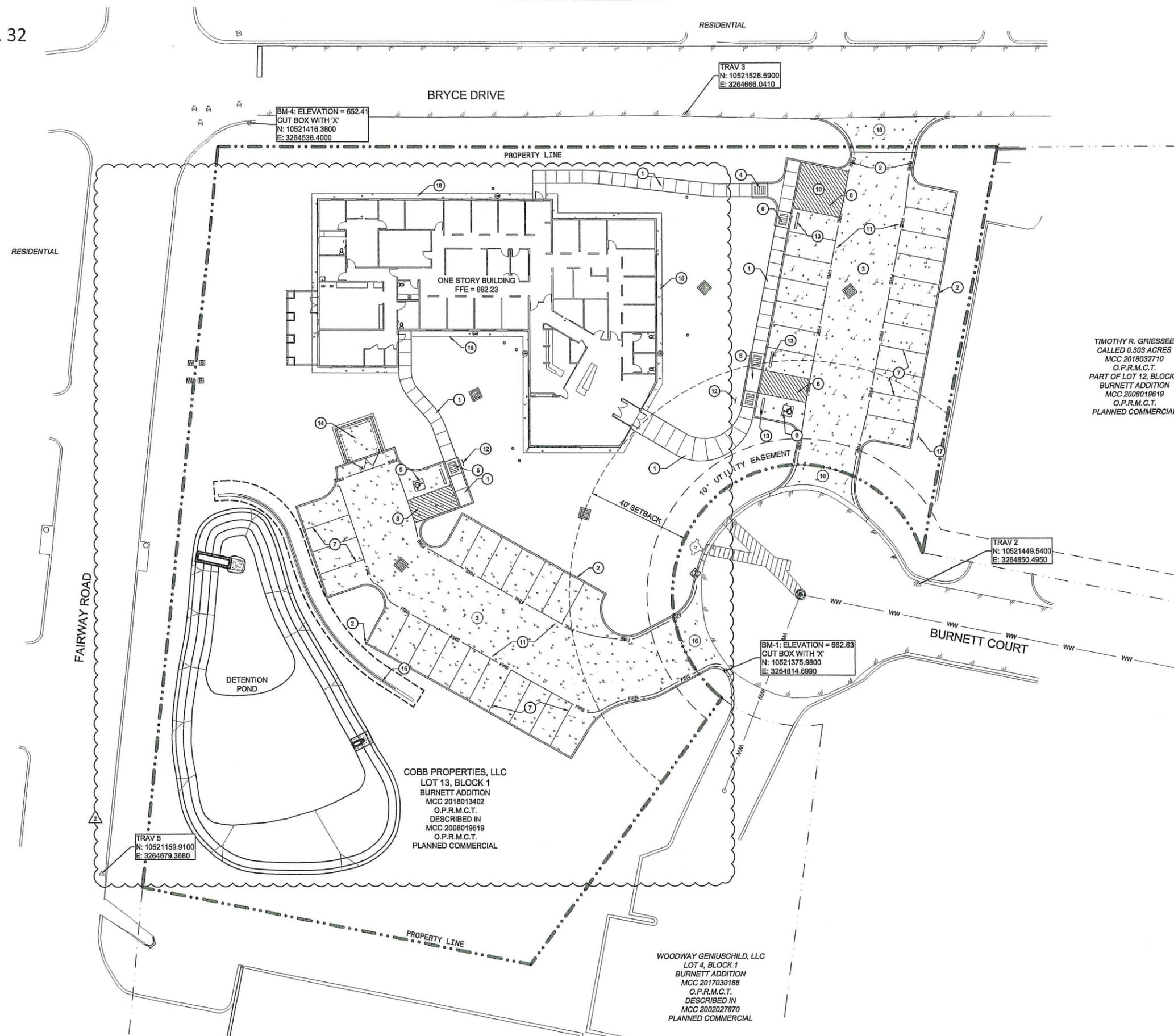
WOODWAY GENIUSCHILD, LLC
LOT 4, BLOCK 1
BURNETT ADDITION
MCC 2017030188
O.P.R.M.C.T.
DESCRIBED IN
MCC 2002027870

TRAV 3
N: 10521528.5900
E: 3264666.0410

TRAV 2
N: 10521449.5400
E: 3264850.4950

TRAV 5
N: 10521159.9100
E: 3264679.3680

1 DEMOLITION & EROSION CONTROL PLAN
SCALE: 1" = 20'



RESIDENTIAL

FAIRWAY ROAD

BRYCE DRIVE

RESIDENTIAL

TRAV 3
N: 10521528.5900
E: 3264666.0410

BM-4: ELEVATION = 662.41
CUT BOX WITH 'X'
N: 10521416.3800
E: 3264538.4000

ONE STORY BUILDING
FFE = 662.23

TIMOTHY R. GRIESSEE
CALLED 0.303 ACRES
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O.P.R.M.C.T.
PART OF LOT 12, BLOCK 1
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MCC 2008019619
O.P.R.M.C.T.
PLANNED COMMERCIAL

TRAV 2
N: 10521449.5400
E: 3264850.4950

BM-1: ELEVATION = 662.63
CUT BOX WITH 'X'
N: 10521375.9800
E: 3264814.6990

BURNETT COURT

COBB PROPERTIES, LLC
LOT 13, BLOCK 1
BURNETT ADDITION
MCC 2018013402
O.P.R.M.C.T.
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PLANNED COMMERCIAL

DETENTION POND

1 SITE PLAN
SCALE: 1" = 20'

SITE CALLOUTS

- 1 REINFORCED CONCRETE SIDEWALK
MAXIMUM CROSS SLOPE: 2%
MAXIMUM RUN: 5.0%
- 2 INTEGRAL CONCRETE CURB
- 3 REINFORCED CONCRETE PAVING
- 4 TXDOT TYPE 1 ACCESSIBLE RAMP W/O
WINGS, W/O DETECTIBLE WARNINGS
- 5 TXDOT TYPE 2 ACCESSIBLE RAMP W/O
DETECTIBLE WARNINGS
- 6 TXDOT TYPE 10 ACCESSIBLE RAMP W/O
DETECTIBLE WARNINGS
- 7 REFL PAV MRK TY 1 (W) 4" (SLD) (100 MIL)
- 8 REFL PAV MRK TY 1 (B) 4" (SLD) (100 MIL)
SPACING: 24"
- 9 REFL PAV MRK TY 1: ACCESSIBLE
PARKING (LARGE)
- 10 REFL PAV MRK TY 1 (W) 4" (SLD) (100 MIL)
SPACING: 24" (DENOTES PATIENT
PICKUP)
- 11 FIRE LANE MARKINGS PER CITY OF
WOODWAY FIRE DEPARTMENT
STANDARDS
- 12 VAN ACCESSIBLE PARKING SIGNAGE,
INSTALLED ON 2-3/8" Ø GALVANIZED
STEEL POST
- 13 CONCRETE WHEELSTOP
- 14 REINFORCED CONCRETE DUMPSTER
PAD, CONCRETE BLOCK SCREENING
AND GATED ENCLOSURE
- 15 REINFORCED CONCRETE RETAINING
WALL WITH GALVANIZED STEEL
GUARDRAIL, AS REQUIRED
- 16 REINFORCED CONCRETE DRIVE
APPROACH
MINIMUM THICKNESS: 8"
- 17 INCIDENTAL DELIVERY SIGNAGE,
INSTALLED ON 2-3/8" Ø GALVANIZED
STEEL POST
- 18 CONCRETE MOW STRIP

OFF-STREET PARKING TABLE

BUILDING AREA	
OFFICE	8,890 SF
CITY ORDINANCE REQUIREMENTS	
OFFICE	1 SP/300 SF
REQUIRED PARKING	
TOTAL SPACES	30
ADA SPACES	2
PROVIDED PARKING	
TOTAL SPACES	41
ADA SPACES	2

SITE CHARACTERISTICS

ZONING	PLANNED COMMERCIAL
PERVIOUS AREA (S.F.)	44,996 S.F.
IMPERVIOUS AREA (S.F.)	26,434 S.F.
% PERVIOUS	63.0%
% IMPERVIOUS	37.0%

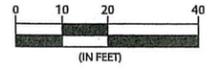
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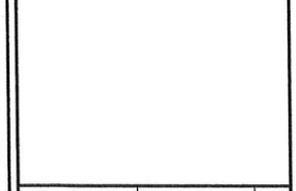


DATE: 06-12-2020
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KEY PLAN



HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS
6-30-20	CITY REVIEW 1

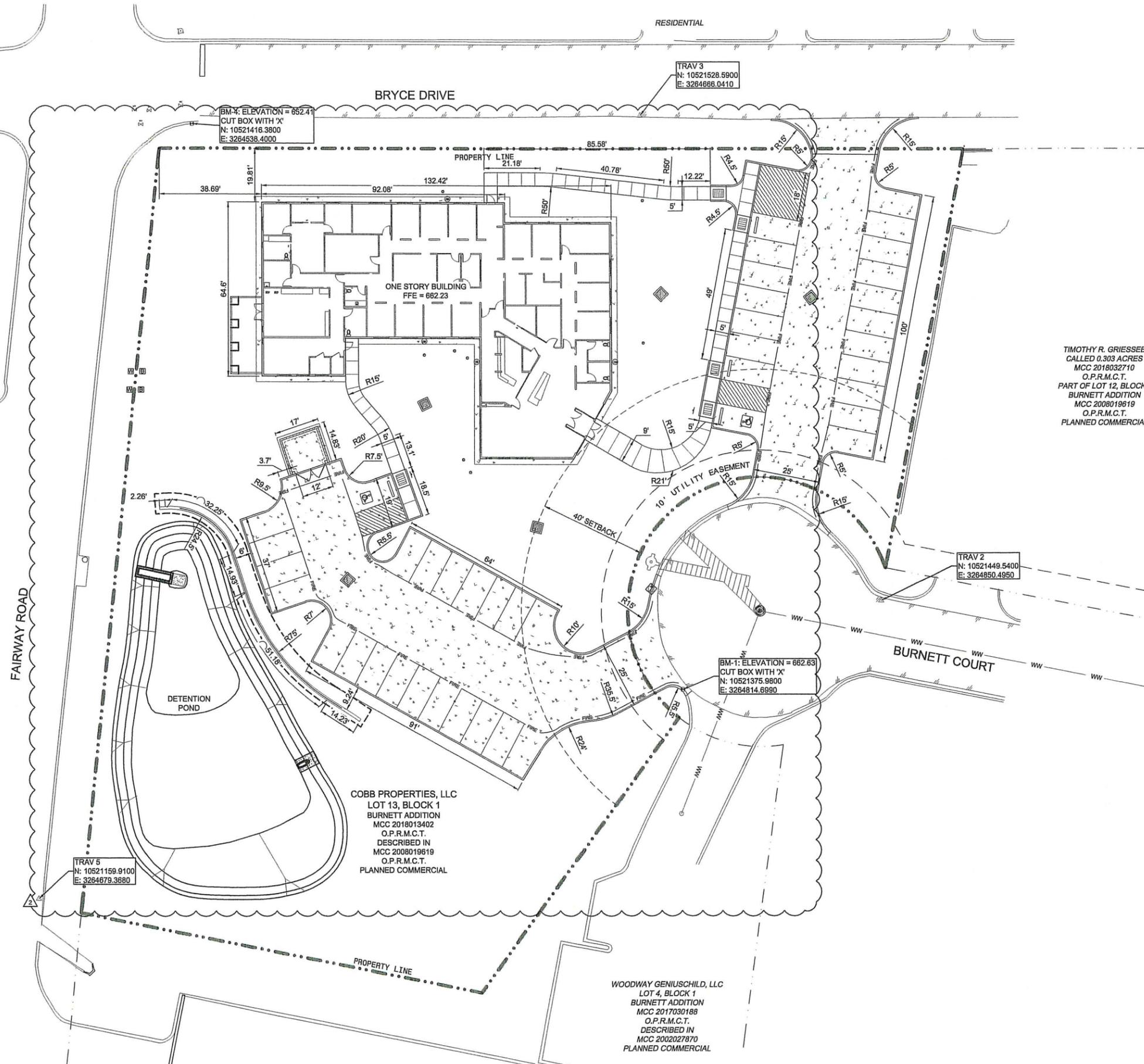


CP&Y, INC.
TEXAS REGISTERED
ENGINEERING FIRM
F-1741

PROJ. # HTSS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

SITE PLAN





BM-X: ELEVATION = 652.41
CUT BOX WITH 'X'
N: 10521416.3800
E: 3264538.4000

TRAV 3
N: 10521528.5900
E: 3264686.0410

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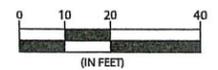
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O.P.R.M.C.T.
PLANNED COMMERCIAL

1 DIMENSIONAL CONTROL PLAN
SCALE: 1" = 20'



DATE: 06-12-2020
NAME: [Signature]

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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS
6-30-20	CITY REVIEW 1



CP&Y, INC.

TEXAS REGISTERED ENGINEERING FIRM F-1741

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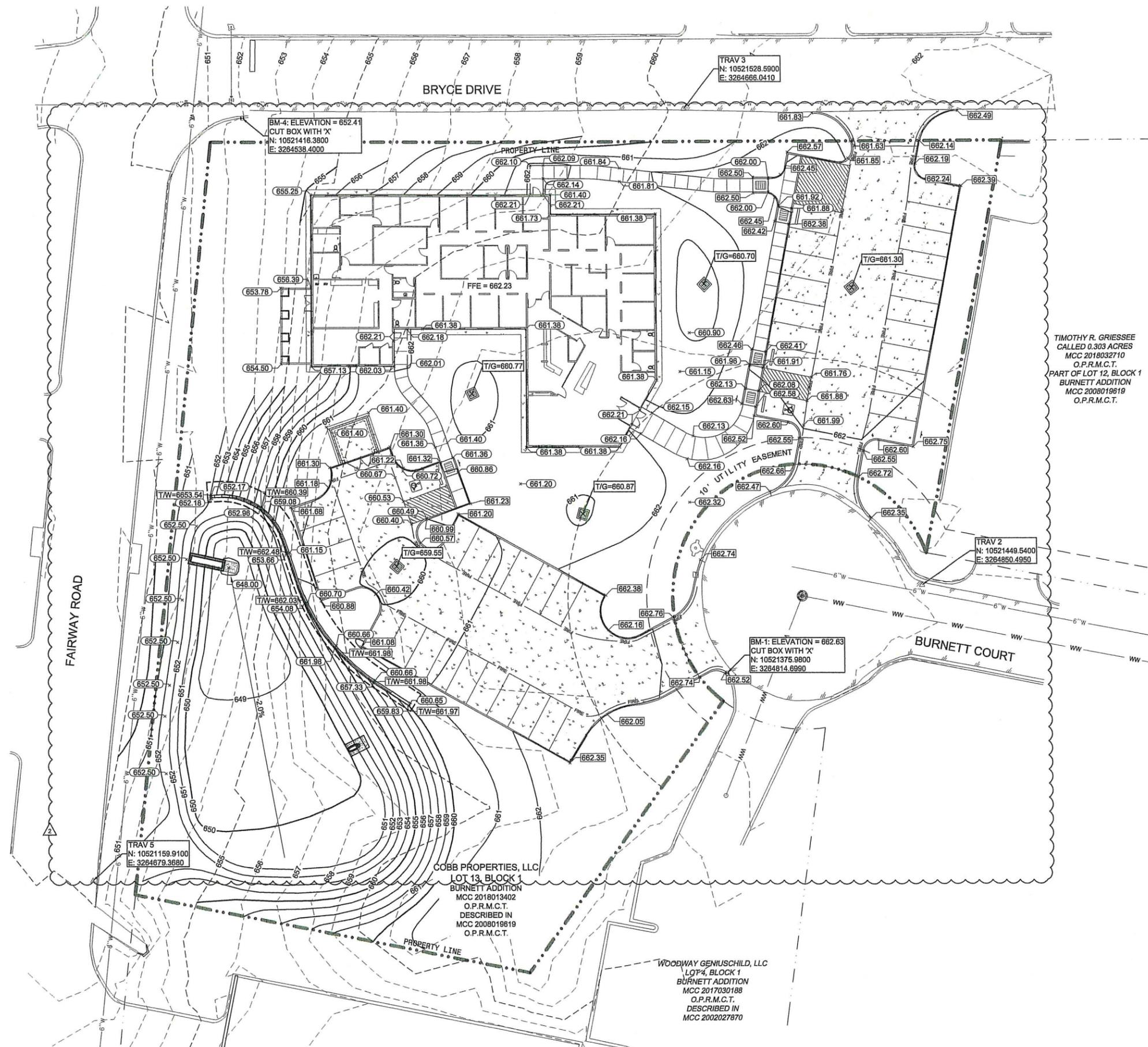
DIMENSIONAL CONTROL PLAN



C301

!!!CAUTION!!!
EXISTING OVERHEAD UTILITIES IN VICINITY. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES.

!!!WARNING!!!
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE 'ONE CALL' LOCATOR SERVICE AT (800)344-8377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

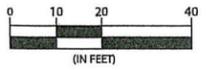


1 GRADING PLAN
SCALE: 1" = 20'



DATE: 06-12-2020
NAME: *D. Marek*

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KEY PLAN

HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS
8-30-20	CITY REVIEW 1



TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HTSS1900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

GRADING PLAN



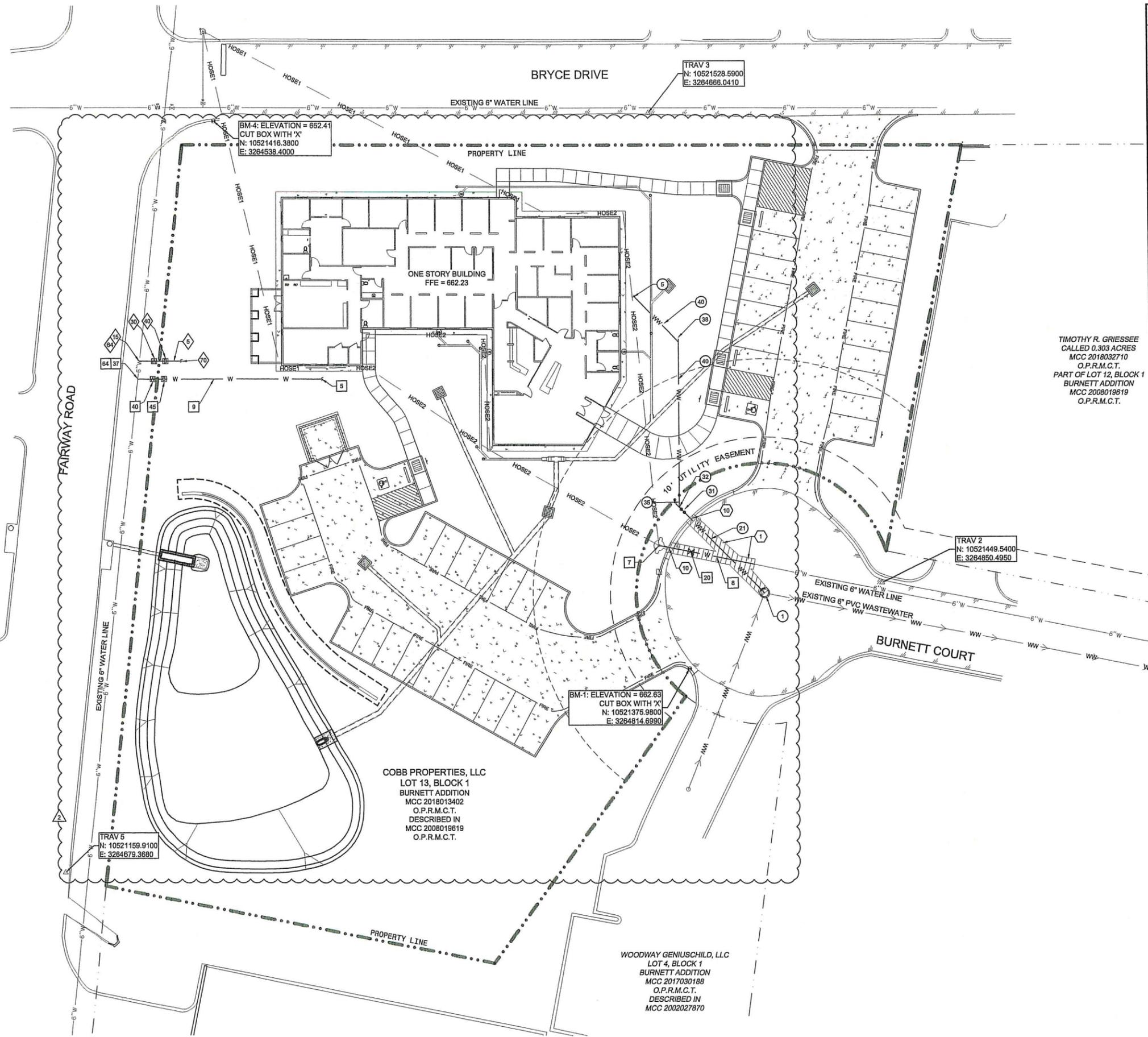
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TIMOTHY R. GRIESSEE
CALLED 0.303 ACRES
MCC 2018032710
O.P.R.M.C.T.
PART OF LOT 12, BLOCK 1
BURNETT ADDITION
MCC 2008019819
O.P.R.M.C.T.

COBB PROPERTIES, LLC
LOT 13, BLOCK 1
BURNETT ADDITION
MCC 2018013402
O.P.R.M.C.T.
DESCRIBED IN
MCC 2008019819
O.P.R.M.C.T.

WOODWAY GENUSCHILD, LLC
LOT 4, BLOCK 1
BURNETT ADDITION
MCC 2017030188
O.P.R.M.C.T.
DESCRIBED IN
MCC 2002027870



1 UTILITY PLAN
SCALE: 1" = 20'

DOMESTIC WATER CALLOUTS

- 5 TERMINATE SERVICE 5' FROM BUILDING ENVELOPE. CONTINUATION TO UNDERFLOOR PLUMBING. SEE MEP PLANS
- 7 FIRE HYDRANT ASSEMBLY
- 8 REMOVE EXISTING CAP & THRUST BLOCK, CONNECT TO 6" C-900 PVC WATER LINE
- 9 2" SCH 40 PVC SERVICE, MIN COVER: 3.5'
- 20 6" RESILIENT SEAT GATE VALVE, VALVE BOX, AND LID
- 37 2" COMMERCIAL SERVICE INSTALLED PER CITY OF WOODWAY STANDARDS
- 40 1-1/2" DOMESTIC METER INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 45 1-1/2" BACKFLOW INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 64 POT HOLE EXISTING WATER LINE TO DETERMINE LOCATION AND ELEVATION PRIOR TO CONSTRUCTION

IRRIGATION CALLOUTS

- 5 2" SCH 40 PVC IRRIGATION SERVICE, MIN COVER: 3"
- 15 2" IRRIGATION SERVICE INSTALLED PER CITY OF WOODWAY STANDARDS
- 30 1-1/2" IRRIGATION METER INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 40 1-1/2" BACKFLOW INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 64 POT HOLE EXISTING WATER LINE TO DETERMINE LOCATION AND ELEVATION PRIOR TO CONSTRUCTION
- 70 TERMINATE SERVICE, CONNECT TO IRRIGATION LINES. SEE LA PLANS

WASTEWATER CALLOUTS

- 1 CORE EXISTING MANHOLE AND CONNECT PROPOSED SERVICE. RESHAPE INSIDE OF MANHOLE AS NEEDED.
FL 6" IN (W) = 654.16
EXIST. FL 6" IN (S) = 654.37
EXIST. FL 6" OUT (E) = 654.06
- 5 TERMINATE SERVICE 5' FROM BUILDING ENVELOPE. CONTINUATION TO UNDERFLOOR PLUMBING. SEE MEP PLANS
- 21 6" COMMERCIAL SERVICE INSTALLED PER CITY OF WOODWAY STANDARDS
- 31 6" DOUBLE CLEANOUT PER CITY OF WOODWAY STANDARDS
FL = 654.74
- 32 6" X 6" SCH 40 PVC 45° WYE
- 35 6" X 4" SCH 40 PVC REDUCER
- 38 4" SCH 40 PVC 45° WYE & END OF LINE CLEANOUT
- 40 4" SCH 40 PVC SEWER SERVICE @ 1% MIN GRADE

MISCELLANEOUS CALLOUTS

- 1 CLASS 'A' SURFACE REPLACEMENT
- 10 CURB AND GUTTER REPLACEMENT

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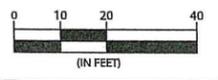
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PART OF LOT 12, BLOCK 1
BURNETT ADDITION
MCC 2008019619
O.P.R.M.C.T.



DATE: 06-12-2020
NAME: [Signature]

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KEY PLAN

- 5 2" SCH 40 PVC IRRIGATION SERVICE, MIN COVER: 3"
- 15 2" IRRIGATION SERVICE INSTALLED PER CITY OF WOODWAY STANDARDS
- 30 1-1/2" IRRIGATION METER INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
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- 70 TERMINATE SERVICE, CONNECT TO IRRIGATION LINES. SEE LA PLANS

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS
6-30-20	CITY REVIEW 1

CP&Y
CP&Y, INC.

TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HTSS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

UTILITY PLAN

C400



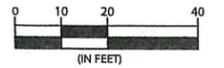
LEGEND

SUBBASIN	
AREA	C
i ₂	Q ₂
i ₁₀	Q ₁₀
i ₁₀₀	Q ₁₀₀

AREA = AREA (ACRES)
 C = RUNOFF COEFFICIENT
 i₂ = 2 YR RUNOFF COEFFICIENT
 i₁₀ = 10 YR RUNOFF COEFFICIENT
 i₁₀₀ = 100 YR RUNOFF COEFFICIENT
 Q₂ = 2 YR STORM WATER RUNOFF
 Q₁₀ = 10 YR STORM WATER RUNOFF
 Q₁₀₀ = 100 YR STORM WATER RUNOFF



06-12-2020
 DATE NAME
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KEY PLAN

HEART OF TEXAS SMILES

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WOODWAY, TX

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CP&Y
CP&Y, INC.
 TEXAS REGISTERED ENGINEERING FIRM
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PROJ. # HTSS1900768 PM: DLM
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PRE CONSTRUCTION DRAINAGE AREA MAP

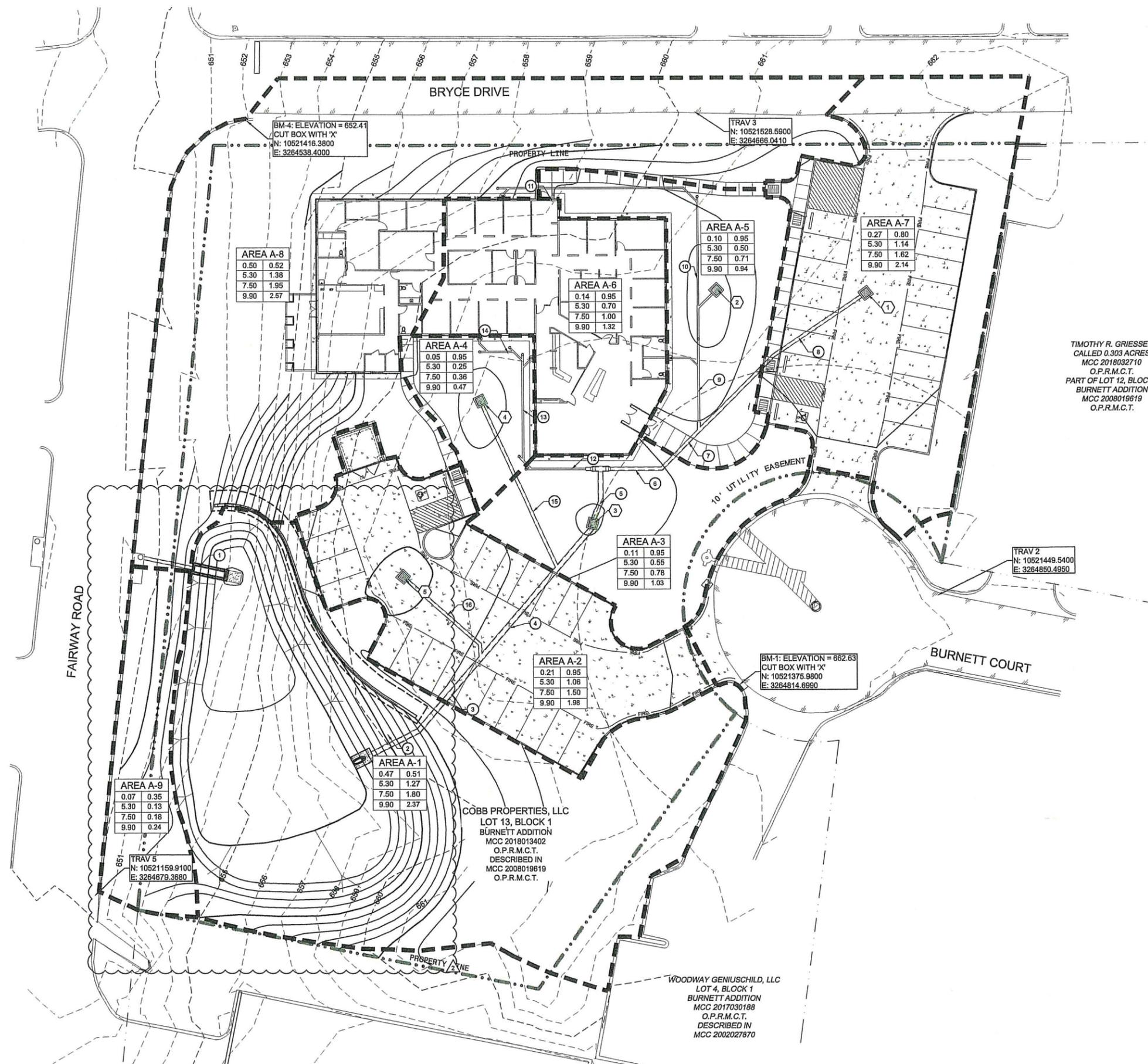
C500

T_c Calculation for Subbasins

OVERLAND SHEET FLOW - KERBY EQUATION (t _s)	SHALLOW CONCENTRATED FLOW - TR55 FIGURE 3-1 (t _s)	OPEN CHANNEL OR STORM SEWER FLOW (t _s)
$T_c = 0.83 (L_n / (S)^{0.467})$	Unpaved: $V = 16.1345 (S)^{0.5}$ Paved: $V = 20.3282 (S)^{0.5}$	$V = (1.49/n) R^{2/3} (S)^{0.5}$
Kerby'n' Choices:	Shallow Concentrated Calculator Based on Land Cover: (Enter slope to find velocity on either unpaved or paved surface)	Calculate velocity with Manning's Equation (using external means) assuming bank full channel or full flow pipe
0.02 Smooth impervious surface 0.1 Smooth bare packed soil 0.2 Poor grass, cultivated row crops or modestly rough bare surface 0.4 Pasture or average grass cover 0.6 Deciduous Timberland 0.8 Conifer timberland, deciduous timberland with deep forest litter or dense grass	S (%) V (FT/S) Unpaved 4.34 3.38 Paved 1 2.03	

SUBBASIN NO.	OVERLAND SHEET FLOW - KERBY EQUATION (t _s)				SHALLOW CONCENTRATED FLOW - TR55 FIGURE 3-1 (t _s)				OPEN CHANNEL OR STORM SEWER FLOW (t _s)			TOTAL T _c
	n	L (FT)	S (%)	t ₁ (MIN)	L (FT)	S (%)	V (FT/S)	t ₂ (MIN)	L (FT)	V (FT/S)	t ₃ (MIN)	
1	0.25	330	3.90	13.9	0	0	0	0.0	0	0	0.0	13.9
2	0.25	240	5.40	11.1	0	0	0	0.0	0	0	0.0	11.1

1 PRE CONSTRUCTION DRAINAGE AREA MAP
 SCALE: 1" = 20'



1 POST CONSTRUCTION DRAINAGE AREA MAP
SCALE: 1" = 20'

LEGEND

SUBBASIN	
AREA	C
I_2	Q_2
I_{10}	Q_{10}
I_{100}	Q_{100}

AREA = AREA (ACRES)
 C = RUNOFF COEFFICIENT
 I_2 = 2 YR RUNOFF COEFFICIENT
 I_{10} = 10 YR RUNOFF COEFFICIENT
 I_{100} = 100 YR RUNOFF COEFFICIENT
 Q_2 = 2 YR STORM WATER RUNOFF
 Q_{10} = 10 YR STORM WATER RUNOFF
 Q_{100} = 100 YR STORM WATER RUNOFF

- INLET
- PIPE/STORM DRAIN

COMPOSITE 'C' CALCULATIONS

AREA A-1	
IMP. (C=0.95)	0.12
PER. (C=0.35)	0.35
C= 0.51	

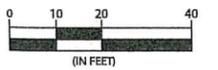
AREA A-7	
IMP. (C=0.95)	0.20
PER. (C=0.35)	0.07
C= 0.80	

AREA A-8	
IMP. (C=0.95)	0.14
PER. (C=0.35)	0.36
C= 0.52	



06-12-2020
 DATE NAME *D. Marek*

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KEY PLAN

HEART OF TEXAS SMILES
 DENTAL CLINIC
 WOODWAY, TX

DATE	ISSUED FOR
▲	
▲	
▲	
▲	6-30-20 CITY REVIEW 1

CP&Y
CP&Y, INC.
 TEXAS REGISTERED
 ENGINEERING FIRM
 F-1741

PROJ. # HTSS1900768 PM: DLM
 CK. BY: DLM DN. BY: ECM

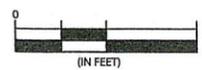
POST CONSTRUCTION DRAINAGE AREA MAP

NOTE: TIME OF CONCENTRATION = 10 MIN FOR POST DEVELOPED CONDITIONS FOR ALL SUBBASINS

C501



06-12-2020
DATE NAME
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KEY PLAN

HEART OF TEXAS SMILES	DENTAL CLINIC	WOODWAY, TX
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HEART OF TEXAS SMILES	DENTAL CLINIC	WOODWAY, TX
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6-30-20	CITY REVIEW 1

CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HTTS1900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

DETENTION POND CALCULATIONS

North
C502

DETENTION POND SIZING
HEART OF TEXAS SMILES

PROJECT: HTTS 1900768 DATE: 07/22/20
PARAMETER: Outflow = 1.11 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-100 Yr Storm

EXISTING CONDITIONS		Q ₁₀₀
Area*	1.93 Acres	
Runoff Coefficient*	0.35	
Time of Concentration*	13.9 Min	
Rainfall Intensity	7.74 In/hr	
Allowable Flow	5.23 cfs	

DEVELOPED CONDITIONS (DIR.)		Q ₁₀₀	AREA
Area*	0.57 Acres		IMP. (C=0.95) 0.14
Runoff Coefficient*	0.50		PER. (C=0.35) 0.43
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	9.9 In/hr		C= 0.50
Developed Flows	2.81 cfs		

DEVELOPED CONDITIONS (IND.)		Q ₁₀₀	AREA
Area*	1.36 Acres		IMP. (C=0.9) 0.93
Runoff Coefficient*	0.72		PER. (C=0.35) 0.44
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	9.9 In/hr		C= 0.72
Developed Flows	9.74 cfs		

A	B	C	(A*C*60)	(Qd)(Tcd+A)/2(60)	Storage
Dur (Min)	Intensity	Flow	Inflow	Outflow	
5.0	9.90	9.74	2,922	334	2,587
10.0	8.90	8.46	5,076	502	4,574
15.0	7.90	7.38	6,840	669	6,171
20.0	6.80	6.69	8,028	856	7,172
25.0	6.25	6.15	9,223	1,003	8,220
30.0	5.80	5.71	10,271	1,170	9,100
35.0	5.40	5.31	11,166	1,338	9,818
40.0	5.15	5.07	12,169	1,505	10,655
45.0	4.90	4.82	13,015	1,672	11,343
50.0	4.65	4.57	13,724	1,839	11,884
55.0	4.42	4.35	14,349	2,006	12,343
60.0	4.25	4.18	15,052	2,174	12,878
65.0	4.03	3.96	15,462	2,341	13,121
70.0	3.90	3.84	16,114	2,508	13,606
75.0	3.72	3.66	16,468	2,675	13,793
80.0	3.55	3.49	16,763	2,842	13,921
85.0	3.40	3.34	17,059	3,009	14,049
90.0	3.37	3.32	17,903	3,177	14,726
95.0	3.25	3.20	18,224	3,344	14,880
100.0	3.15	3.10	18,593	3,511	15,082
105.0	3.15	3.10	18,593	3,511	15,082
105.0	3.03	2.98	18,779	3,678	15,101
110.0	2.90	2.85	18,829	3,845	14,984

Volume required= 15,101 CF
0.35 AC. FT.

DETENTION POND SIZING
HEART OF TEXAS SMILES

PROJECT: HTTS 1900768 DATE: 07/22/20
PARAMETER: Outflow = 0.98 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-25 Yr Storm

EXISTING CONDITIONS		Q ₂₅
Area*	1.93 Acres	
Runoff Coefficient*	0.35	
Time of Concentration*	13.9 Min	
Rainfall Intensity	6.7 In/hr	
Allowable Flow	4.53 cfs	

DEVELOPED CONDITIONS (DIR.)		Q ₂₅	AREA
Area*	0.57 Acres		IMP. (C=0.95) 0.14
Runoff Coefficient*	0.50		PER. (C=0.35) 0.43
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	8.5 In/hr		C= 0.50
Developed Flows	2.41 cfs		

DEVELOPED CONDITIONS (IND.)		Q ₂₅	AREA
Area*	1.38 Acres		IMP. (C=0.9) 0.93
Runoff Coefficient*	0.72		PER. (C=0.35) 0.44
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	8.5 In/hr		C= 0.72
Developed Flows	8.36 cfs		

A	B	C	(A*C*60)	(Qd)(Tcd+A)/2(60)	Storage
Dur (Min)	Intensity	Flow	Inflow	Outflow	
5.0	8.50	8.36	2,509	295	2,213
10.0	7.40	7.28	4,368	443	3,925
15.0	6.50	6.39	5,785	591	5,194
20.0	5.70	5.61	6,729	738	6,000
25.0	5.30	5.21	7,821	886	6,935
30.0	4.80	4.72	8,500	1,034	7,466
35.0	4.50	4.43	9,297	1,182	8,115
40.0	4.20	4.13	9,916	1,329	8,587
45.0	3.95	3.89	10,492	1,477	9,015
50.0	3.80	3.74	11,215	1,625	9,590
55.0	3.55	3.49	11,525	1,772	9,752
60.0	3.40	3.34	12,041	1,920	10,121
65.0	3.25	3.20	12,469	2,068	10,402
70.0	3.15	3.10	13,015	2,215	10,800
75.0	3.00	2.95	13,281	2,363	10,918
80.0	2.90	2.85	13,694	2,511	11,183
85.0	2.80	2.75	14,048	2,659	11,390
90.0	2.70	2.66	14,343	2,806	11,537
95.0	2.60	2.56	14,579	2,954	11,626
100.0	2.51	2.47	14,816	3,102	11,714
105.0	2.42	2.38	14,999	3,249	11,749
110.0	2.30	2.26	14,934	3,397	11,537

Volume required= 11,749 CF
0.27 AC. FT.

DETENTION POND SIZING
HEART OF TEXAS SMILES

PROJECT: HTTS 1900768 DATE: 07/22/20
PARAMETER: Outflow = 0.76 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-10 Yr Storm

EXISTING CONDITIONS		Q ₁₀
Area*	1.93 Acres	
Runoff Coefficient*	0.35	
Time of Concentration*	13.9 Min	
Rainfall Intensity	5.7 In/hr	
Allowable Flow	3.85 cfs	

DEVELOPED CONDITIONS (DIR.)		Q ₁₀	AREA
Area*	0.57 Acres		IMP. (C=0.95) 0.14
Runoff Coefficient*	0.50		PER. (C=0.35) 0.43
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	7.5 In/hr		C= 0.50
Developed Flows	2.13 cfs		

DEVELOPED CONDITIONS (IND.)		Q ₁₀	AREA
Area*	1.36 Acres		IMP. (C=0.9) 0.93
Runoff Coefficient*	0.72		PER. (C=0.35) 0.44
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	7.5 In/hr		C= 0.72
Developed Flows	7.38 cfs		

A	B	C	(A*C*60)	(Qd)(Tcd+A)/2(60)	Storage
Dur (Min)	Intensity	Flow	Inflow	Outflow	
5.0	7.50	7.38	2,213	228	1,985
10.0	6.40	6.30	3,778	343	3,435
15.0	5.50	5.41	4,870	457	4,413
20.0	4.90	4.82	5,785	571	5,213
25.0	4.40	4.33	6,493	685	5,807
30.0	4.10	4.03	7,260	800	6,461
35.0	3.80	3.74	7,850	914	6,937
40.0	3.57	3.51	8,429	1,028	7,401
45.0	3.37	3.32	8,951	1,142	7,809
50.0	3.20	3.15	9,444	1,256	8,188
55.0	3.00	2.95	9,799	1,371	8,369
60.0	2.90	2.85	10,271	1,485	8,786
65.0	2.75	2.71	10,551	1,599	8,952
70.0	2.63	2.59	10,867	1,713	9,153
75.0	2.55	2.51	11,289	1,828	9,461
80.0	2.42	2.38	11,427	1,942	9,486
85.0	2.33	2.29	11,690	2,056	9,634
90.0	2.25	2.21	11,953	2,170	9,782
95.0	2.17	2.13	12,168	2,285	9,884
100.0	2.09	2.06	12,336	2,399	9,938
105.0	2.00	1.97	12,395	2,513	9,862

Volume required= 9,938 CF
0.23 AC. FT.

STAGE STORAGE CHART

Elevation (FT)	Area (SF)	Incr. Vol. (CF)	Total Vol. (CF)	Vol Req'd (CF)	WSEL (ft)	Storm Event
648	18	0				
649	1371	695	695			
650	4692	3032	3726			
651	6641	5667	9393	5983	650.40	2-Year
				9938	651.08	10-Year
				11749	651.33	25-Year
				15101	651.80	100-Year
652	7697	7169	16562			
652.5	8246	3985	20547			

DETERMINATION OF POST DEVELOPMENT DISCHARGE

Angle of Weir	Height above Bottom (FT)	Weir Discharge (CFS)	Allow Discharge (CFS)	Verification	Note
1.73	1.73	C _d	0.611		
	650.40	2.40	0.35	0.44	TRUE 2-Year
	651.08	3.08	0.66	0.76	TRUE 10-Year
	651.33	3.33	0.80	0.98	TRUE 25-Year
	651.80	3.80	1.11	1.11	TRUE 100-Year

DETENTION POND SIZING
HEART OF TEXAS SMILES

PROJECT: HTTS 1900768 DATE: 07/22/20
PARAMETER: Outflow = 0.44 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-2 Yr Storm

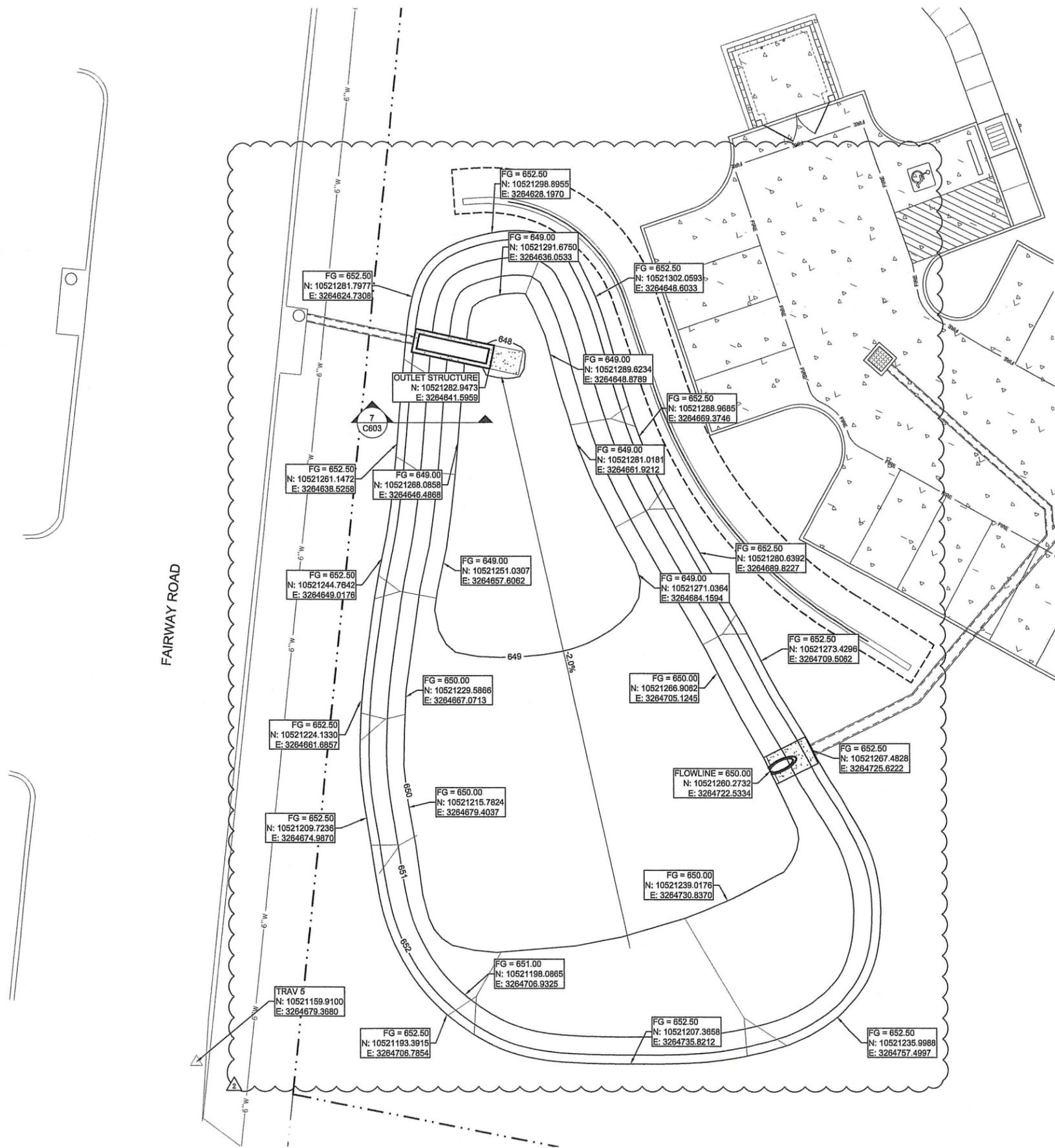
EXISTING CONDITIONS		Q ₂
Area*	1.93 Acres	
Runoff Coefficient*	0.35	
Time of Concentration*	13.9 Min	
Rainfall Intensity	3.84 In/hr	
Allowable Flow	2.59 cfs	

DEVELOPED CONDITIONS (DIR.)		Q ₂	AREA
Area*	0.57 Acres		IMP. (C=0.95) 0.14
Runoff Coefficient*	0.50		PER. (C=0.35) 0.43
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	5.3 In/hr		C= 0.50
Developed Flows	1.50 cfs		

DEVELOPED CONDITIONS (IND.)		Q ₂	AREA
Area*	1.36 Acres		IMP. (C=0.9) 0.93
Runoff Coefficient*	0.72		PER. (C=0.35) 0.44
Time of Concentration (Tcd)*	5 Min		
Rainfall Intensity	5.3 In/hr		C= 0.72
Developed Flows	5.21 cfs		

A	B	C	(A*C*60)	(Qd)(Tcd+A)/2(60)	Storage
Dur (Min)	Intensity	Flow	Inflow	Outflow	
5.0	5.30	5.21	1,564	133	1,431
10.0	4.35	4.28	2,568	199	2,368
15.0	3.70	3.64	3,276	266	3,010
20.0	3.25	3.20	3,837	332	3,505
25.0	2.90	2.85	4,279	399	3,881
30.0	2.65	2.61	4,693	465	4,228
35.0	2.45	2.41	5,081	531	4,550
40.0	2.25	2.21	5,312	598	4,714
45.0	2.10	2.07	5,578	664	4,914
50.0	1.97	1.94	5,814	731	5,083
55.0	1.85	1.82	6,006	797	5,209
60.0	1.76	1.73	6,233	864	5,370
65.0	1.67	1.64	6,407	930	5,477
70.0	1.60	1.57	6,611	997	5,614
75.0	1.52	1.50	6,729	1,063	5,666
80.0	1.46	1.44	6,894	1,129	5,765
85.0	1.40	1.38	7,024	1,196	5,826
90.0	1.35	1.33	7,172	1,262	5,909
95.0	1.30	1.28	7,290	1,329	5,961
100.0	1.25	1.23	7,378	1,395	5,983
105.0	1.20	1.18	7,437	1,462	5,976
110.0	1.15	1.13	7,467	1,528	5,939

Volume required= 5,883 CF
0.14 AC. FT.



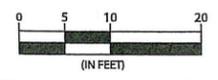
FAIRWAY ROAD

1 DETENTION POND PLAN
SCALE: 1" = 10'



DATE: 06-12-2020
NAME: *D. Marek*

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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

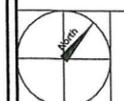
DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS
6-30-20	CITY REVIEW 1



TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

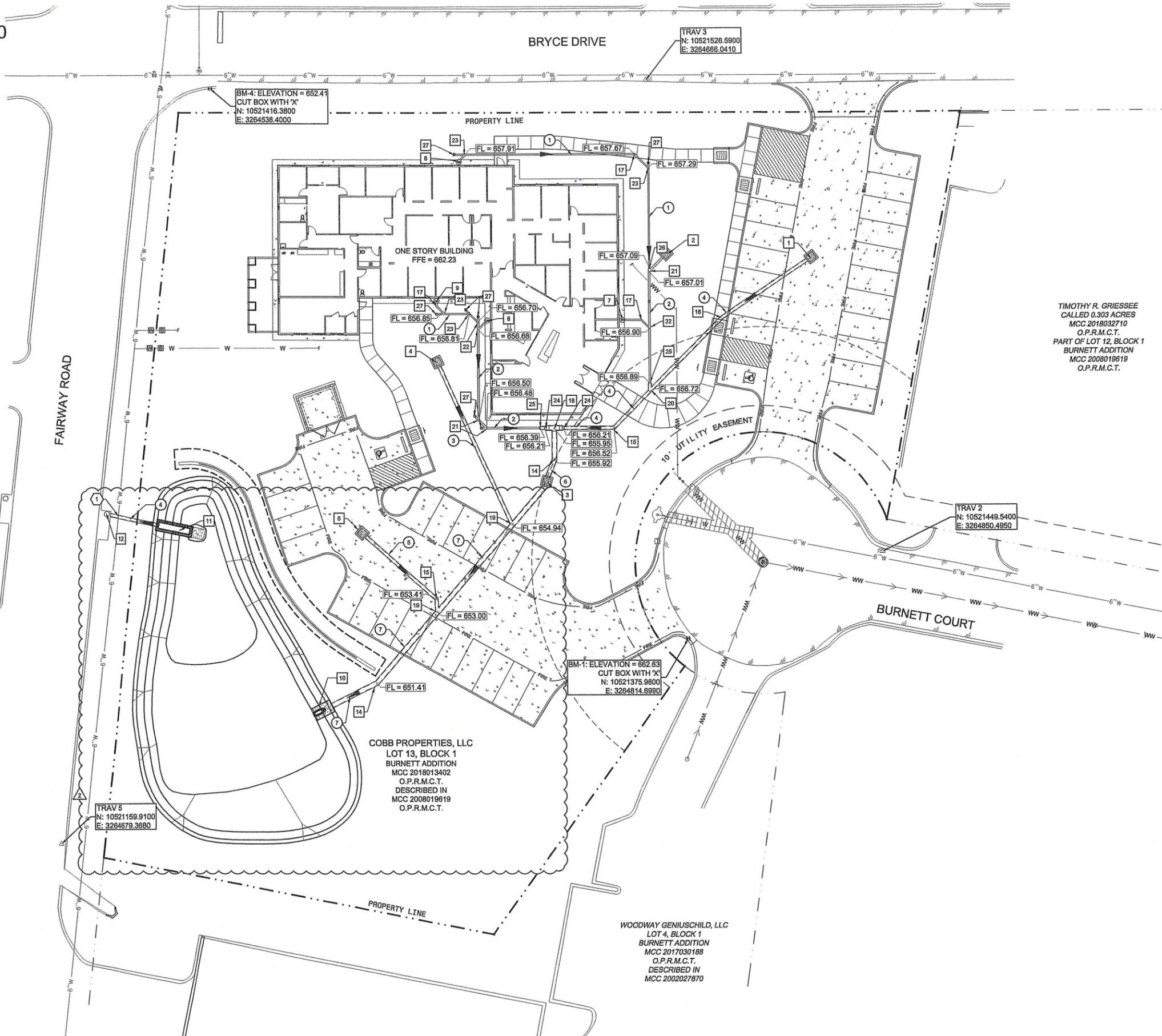
DETENTION POND PLAN



C503

!!!CAUTION!!!
EXISTING OVERHEAD UTILITIES IN VICINITY. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES.

!!!WARNING!!!
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE 'ONE CALL' LOCATOR SERVICE AT (800)344-8377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.



1 DRAINAGE PLAN
SCALE: 1" = 20'

STORM LINE CALLOUTS

- 1 6" SCH 40 PVC @ 0.5%
- 2 8" SCH 40 PVC @ 0.5%
- 3 12" CLASS IV RCP @ 0.5%
- 4 12" CLASS IV RCP @ 1.0%
- 5 12" CLASS IV RCP @ 4.0%
- 6 18" CLASS IV RCP @ 0.5%
- 7 18" CLASS IV RCP @ 4.4%

STORM STRUCTURE CALLOUTS

- 1 3' X 3' GRATE INLET WITH TRAFFIC GRATE
T/G = 661.30
FL OUT = 657.49
- 2 3' X 3' GRATE INLET WITH BEEHIVE GRATE
T/G = 660.70
FL OUT = 657.04
- 3 3' X 3' GRATE INLET WITH BEEHIVE GRATE
T/G = 660.87
FL IN = 655.90
FL OUT = 655.80
- 4 3' X 3' GRATE INLET WITH BEEHIVE GRATE
T/G = 660.77
FL = 655.52
- 5 3' X 3' GRATE INLET WITH TRAFFIC GRATE
T/G = 659.55
FL OUT = 654.79
- 6 CONNECT TO DOWNSPOUT
FL = 658.02
- 7 CONNECT TO DOWNSPOUT
FL = 657.04
- 8 CONNECT TO DOWNSPOUT
FL = 656.79
- 9 CONNECT TO DOWNSPOUT
FL = 656.89
- 10 18" SAFETY END TREATMENT
FL OUT = 650.00
- 11 POND OUTLET STRUCTURE
FL IN = 648.05
FL OUT = 646.98
- 12 CONNECT TO EXISTING CURB INLET
FL IN = 646.67
FL OUT = 646.57
T/CURB = 649.55
- 13 18" RCP 45° BEND
- 14 18" RCP 22.5° BEND
- 15 12" RCP 45° BEND
- 16 12" 11.25° BEND
- 17 6" PVC 45° BEND
- 18 18" X 18" RCP TEE
- 19 18" X 12" RCP WYE
- 20 12" X 12" RCP WYE
- 21 8" X 8" PVC WYE
- 22 8" X 6" PVC WYE
- 23 6" X 6" PVC WYE
- 24 18" X 12" REDUCER
- 25 12" X 8" REDUCER
- 26 8" X 6" REDUCER
- 27 INSTALL END OF LINE CLEANOUT

MISCELLANEOUS CALLOUTS

- 1 CONTRACTOR TO POT HOLE 6" WATER LINE PRIOR TO STORM DRAIN INSTALLATION.

!!!CAUTION!!!
EXISTING OVERHEAD UTILITIES IN VICINITY. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES.

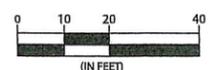
!!!WARNING!!!
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TIMOTHY R. GRIESSEE
CALLED 0.303 ACRES
MCC 2018032710
O.P.R.M.C.T.
PART OF LOT 12, BLOCK 1
BURNETT ADDITION
MCC 2008019619
O.P.R.M.C.T.

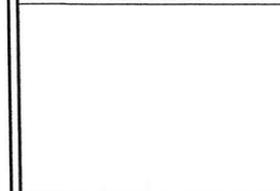


DATE: 06-12-2020
NAME: [Signature]

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KEY PLAN



HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

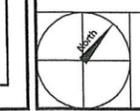
DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS
6-30-20	CITY REVIEW 1



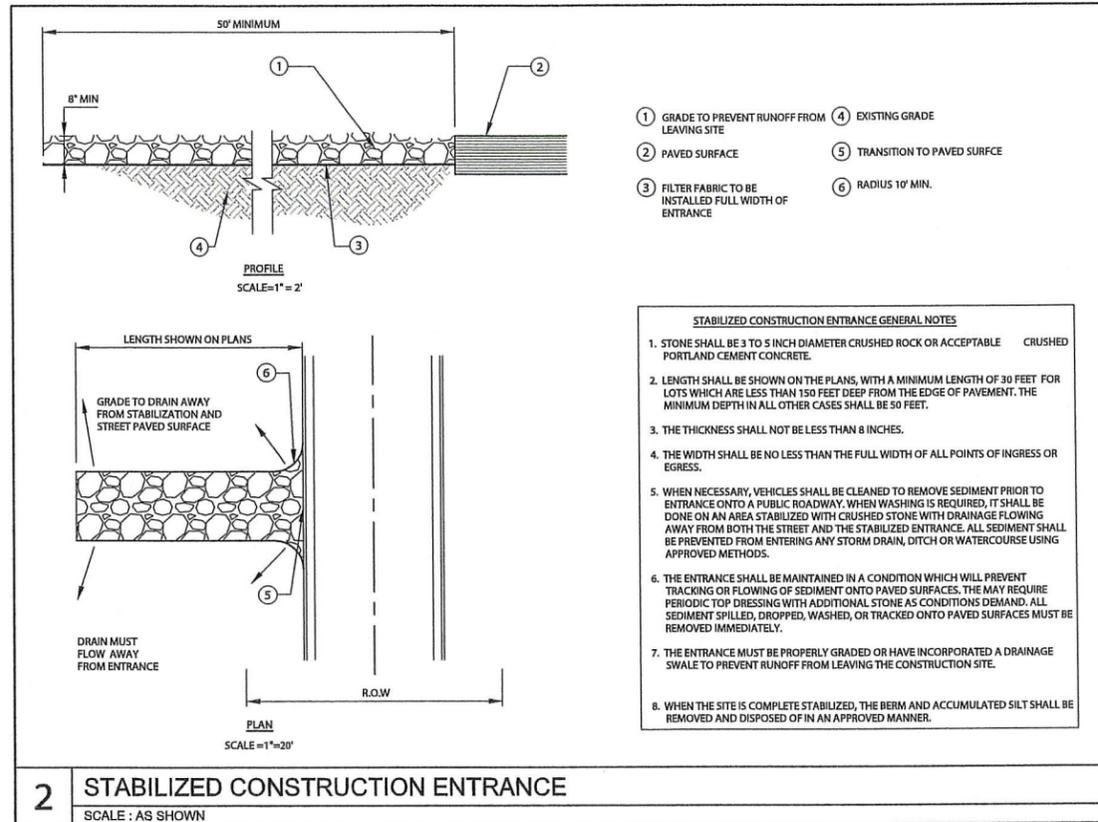
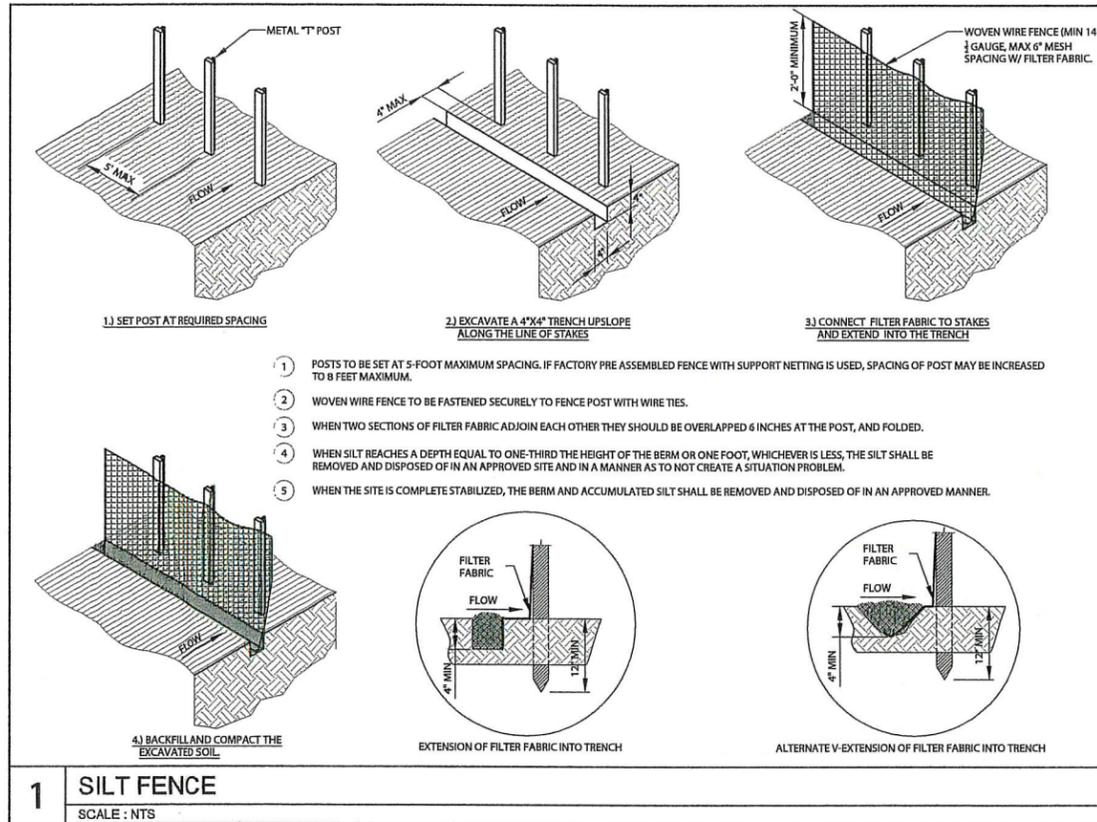
TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HTSS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

DRAINAGE PLAN

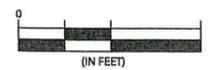


C504



06-12-2020
DATE NAME

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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

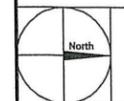
WOODWAY, TX

DATE	ISSUED FOR

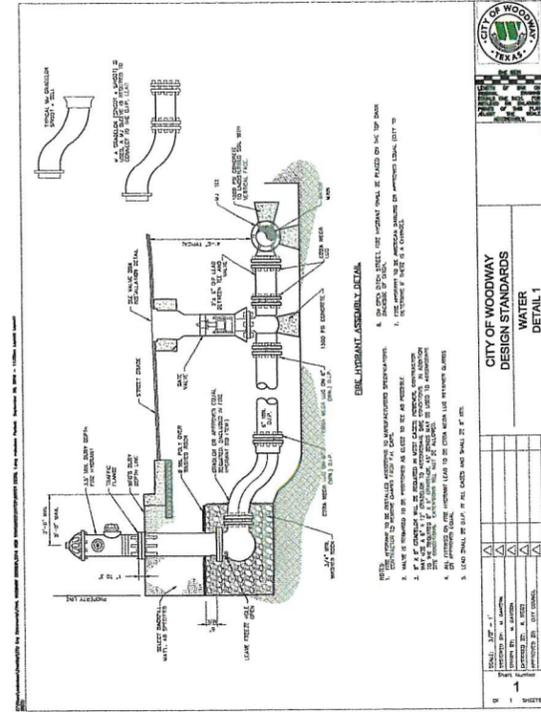
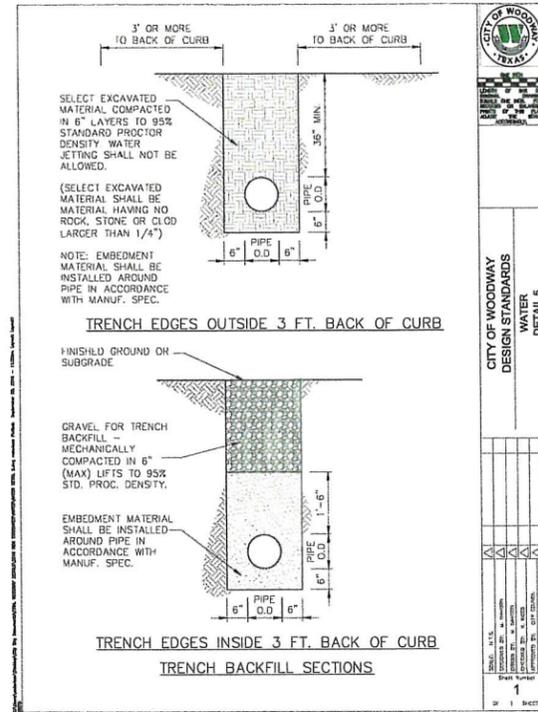
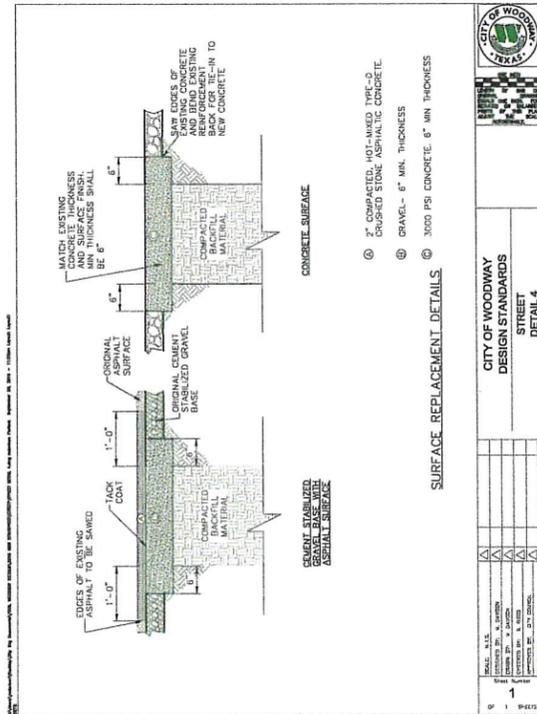
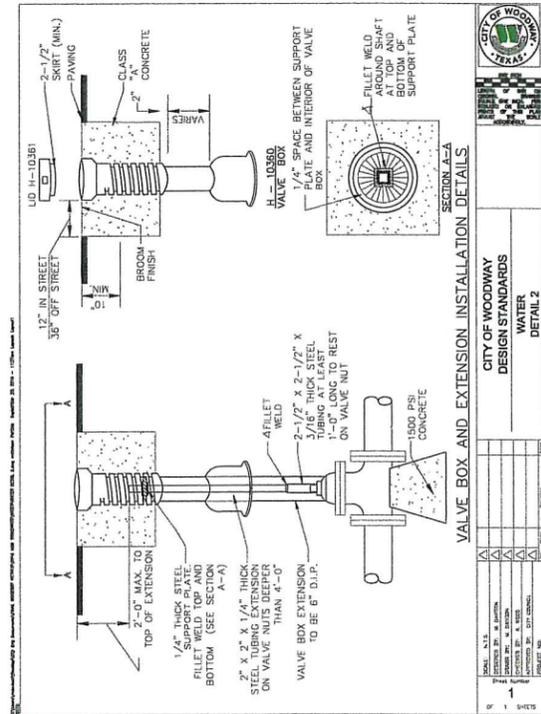
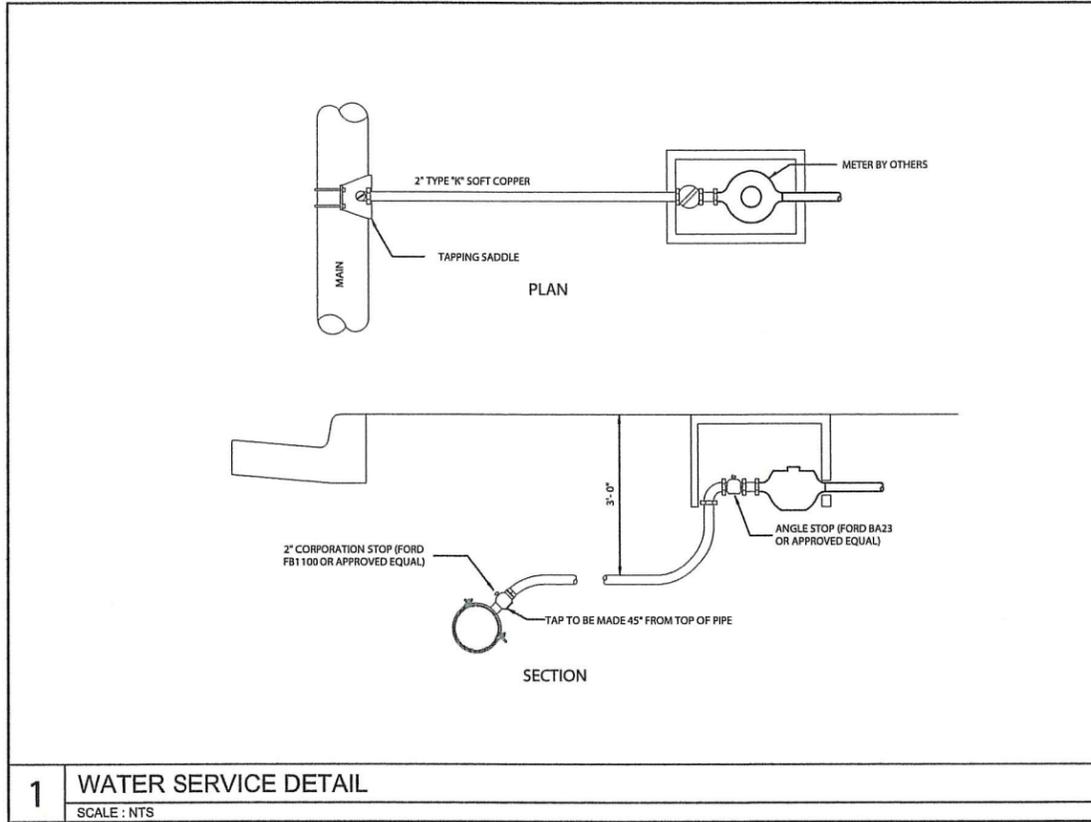
CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HT551900768 PM: DLM
CK. BY: DLM DN. BY: ECM

EROSION CONTROL DETAILS

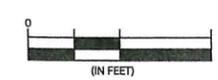


C600



06-12-2020
DATE NAME

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KEY PLAN

HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

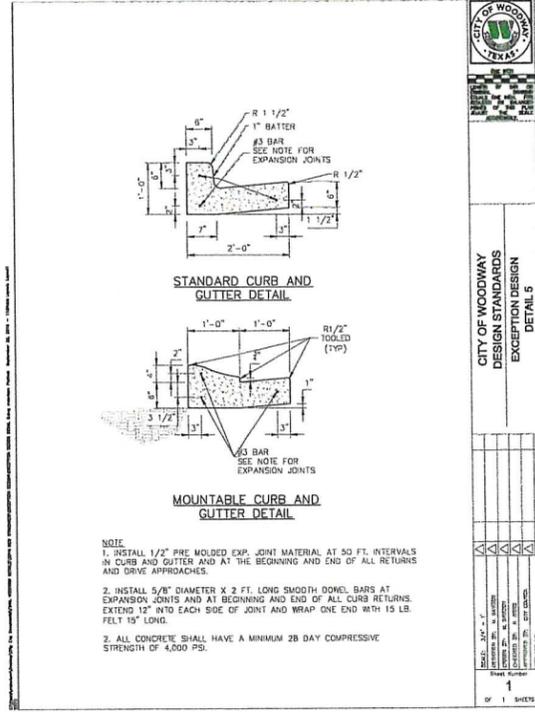
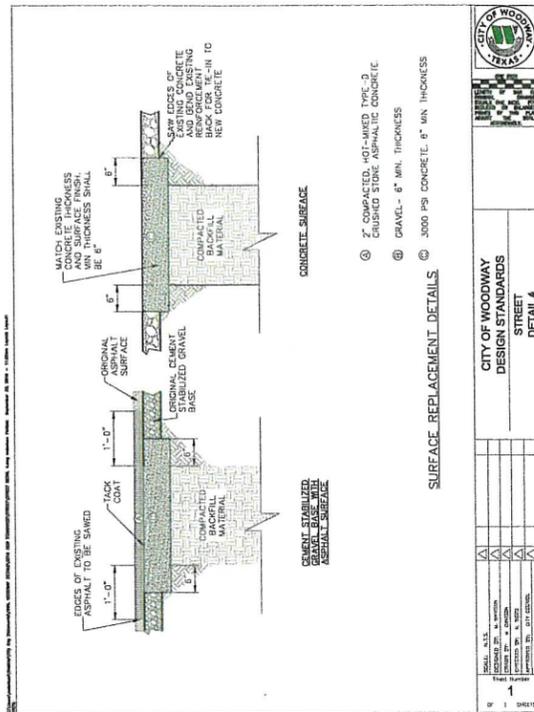
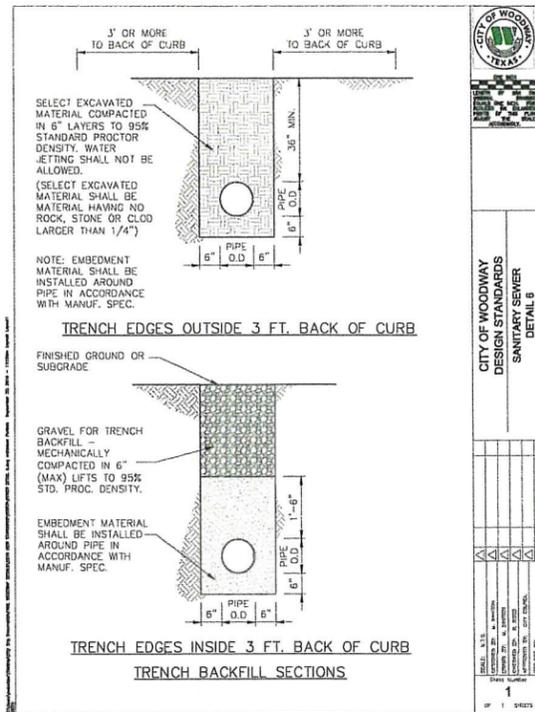
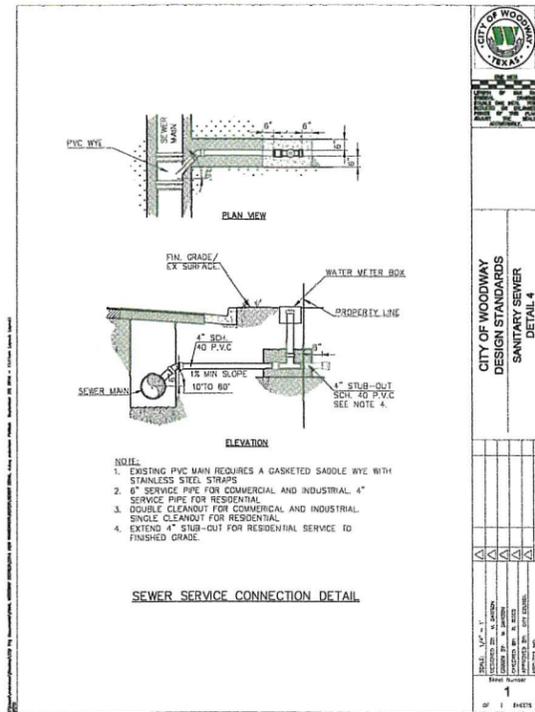
DATE	ISSUED FOR

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CP&Y, INC.
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F-1741

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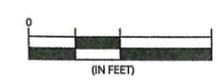
WATER DETAILS

North
C601



06-12-2020 DATE NAME *David L. Marek*

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KEY PLAN



HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR

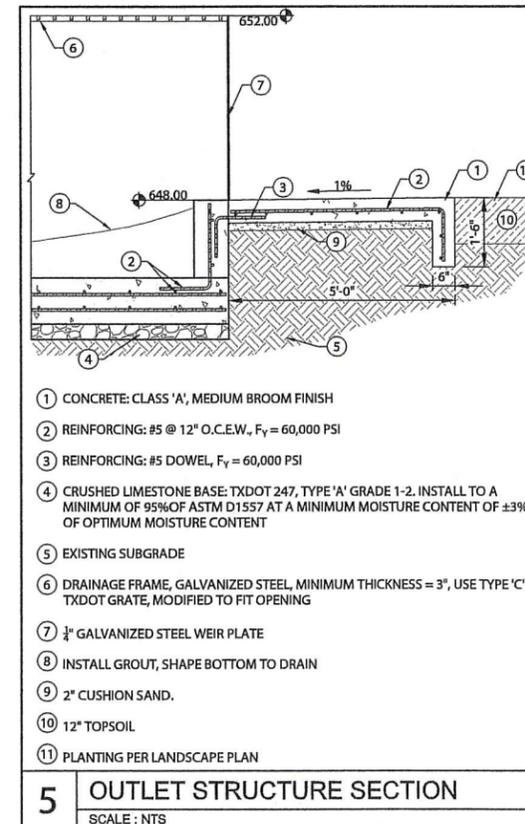
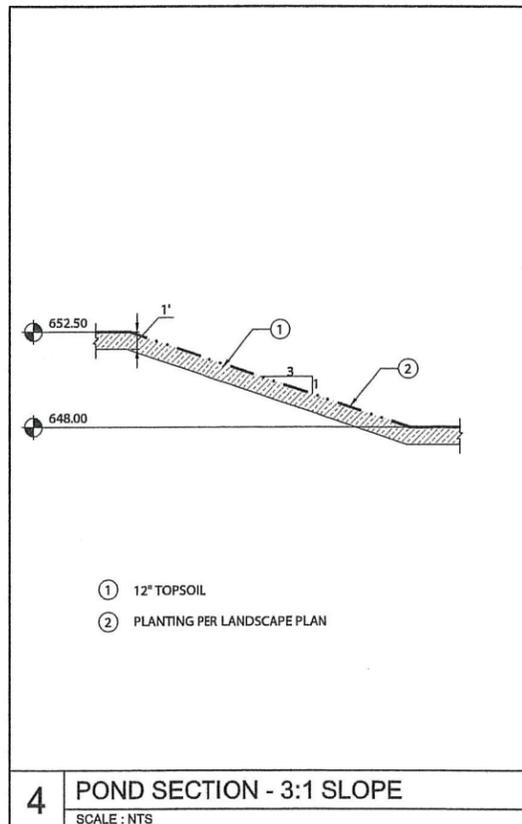
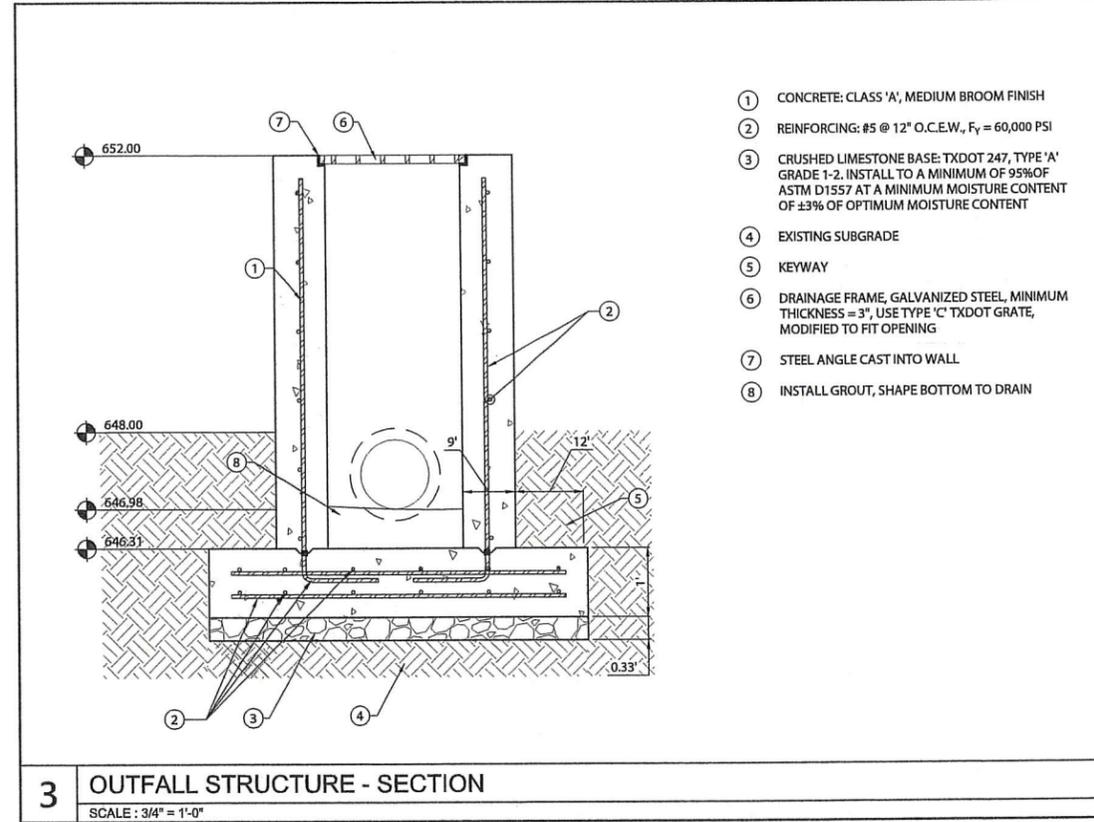
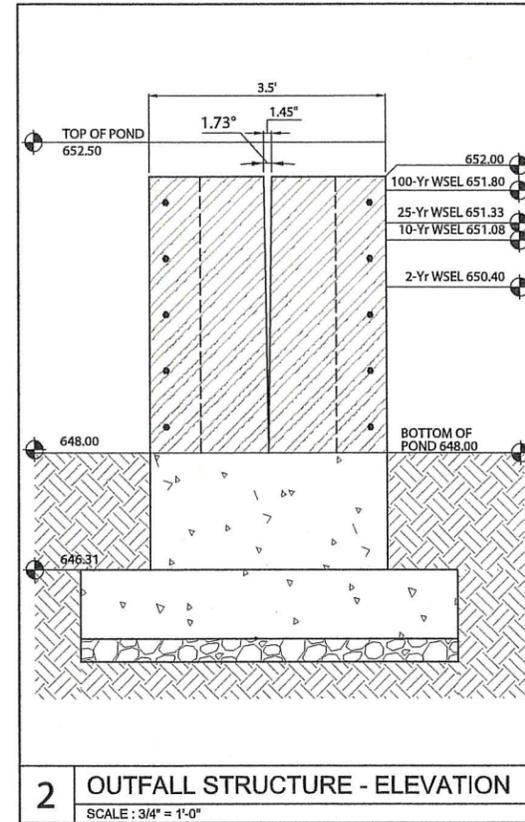
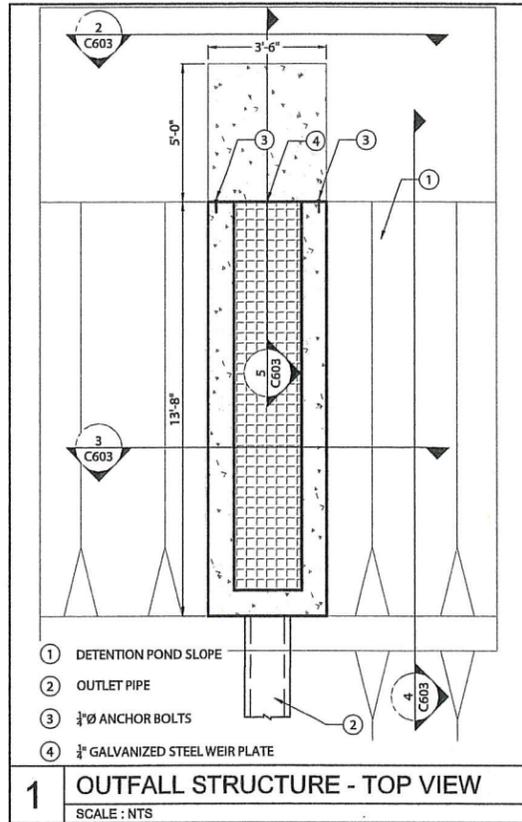
CP&Y
CP&Y, INC.
 TEXAS REGISTERED ENGINEERING FIRM
 F-1741

PROJ. # HTSS1900768 PM: DLM
 CK. BY: DLM DN. BY: ECM

WASTEWATER DETAILS

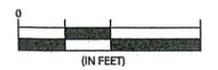
North

C602



06-12-2020
 DATE NAME

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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS
6-30-20	CITY REVIEW 1



TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

DRAINAGE DETAILS



C603

1 RCP EMBEDMENT DETAILS
SCALE: N.T.S.

PIPE SIZE I.D. IN INCHES	WALL THICKNESS IN INCHES CLASS III R.C.P.	O.D. OF PIPE IN INCHES Bc	MAX. TRENCH WIDTH IN INCHES Bc+24"	MIN. TRENCH WIDTH IN INCHES Bc+16"	BASIS OF PAYMENT AVE TRENCH WIDTH Bc+20"-Bd	CLASS I EMBEDMENT			CLASS I-A EMBEDMENT		CLASS II EMBEDMENT		CLASS III EMBEDMENT		CONCRETE ENCASEMENT
						STABLE EARTH GRAVEL CU.YD./100'	ROCK GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	ROCK GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	CONC. CU.YD./100'		
12	2	16	40	32	36	8.80	15.20	3.82	8.80	4.53	7.31	7.88	8.25	6.85	17.05
15	2-1/4	19-1/2	43-1/2	35-1/2	39-1/2	11.02	19.22	4.15	11.02	5.32	8.37	9.86	9.55	8.68	20.25
18	2-1/2	21	47	39	43	13.32	21.32	4.41	13.32	6.16	9.46	11.30	11.44	10.48	23.59
21	2-3/4	23	51	43	47	15.79	24.88	4.70	15.79	7.05	10.84	12.94	12.33	12.35	27.07
24	3	26	54	46	50	18.34	28.11	4.98	18.34	7.85	12.86	15.27	13.81	14.31	30.58
27	3-1/4	33-1/2	57-1/2	49-1/2	53-1/2	20.82	31.88	5.26	20.82	8.88	14.94	17.67	15.81	16.33	34.13
30	3-1/2	37	61	53	57	23.75	35.38	5.53	23.75	10.02	16.82	20.86	19.15	18.43	38.31
36	4	44	68	60	64	29.45	43.20	6.06	29.45	12.26	22.12	26.91	25.28	22.85	45.49
42	4-1/2	51	75	67	71	35.87	51.85	6.57	35.87	14.67	26.37	31.39	29.19	27.58	52.20
48	5	58	82	74	78	42.57	60.44	7.03	42.57	17.29	30.35	37.14	34.88	32.59	61.45
54	5-1/2	65	89	81	85	49.70	69.88	7.51	49.70	20.12	33.87	41.19	38.39	35.91	71.25
60	6	72	96	88	92	57.26	79.85	7.98	57.26	23.14	37.83	45.61	42.62	40.32	81.58
66	6-1/2	79	103	95	99	65.24	90.36	8.46	65.24	26.36	42.33	50.36	47.58	45.89	92.46
72	7	86	110	102	106	73.66	101.42	8.94	73.66	29.76	47.37	55.59	52.45	50.83	103.87
78	7-1/2	93	117	109	113	82.51	113.01	9.41	82.51	33.39	52.84	61.19	57.61	55.81	115.82
84	8	100	124	116	120	91.78	125.15	9.88	91.78	37.20	58.76	68.69	64.49	62.16	131.32

① GRAVEL FOR TRENCH BACKFILL
 ② SEE—SURFACE REPLACEMENT DETAIL
 ③ SELECTED EXCAVATED TRENCH MATERIAL
 ④ SELECTED TOP SOIL FROM EXCAVATION
 FC FIELD COMPUTED QUANTITY
 ○ GRAVEL CUSHION PERMITTED, BUT COST FOR GRAVEL AND ADDITIONAL EXCAVATION WILL BE AT CONTRACTOR'S EXPENSE

NOTE:
 CLASS OF EMBEDMENT AND LIMITS BY STATIONS SHALL BE INDICATED ON THE PLAN-PROFILE SHEETS. THE CLASS OF EMBEDMENT FOR PIPE IN UNPAVED STREETS WHICH ARE TO BE PAVED WITHIN 1 YEAR SHALL BE THE SAME AS THAT FOR PAVED STREETS.

2 PVC EMBEDMENT
SCALE: N.T.S.

① TOPSOIL: TOPSOIL TYPE 'T1'
 ② BACKFILL: SOIL TYPE 'S1'
 ③ EMBEDMENT: TYPE 'A1' OR TYPE 'A2' COARSE AGGREGATE, TYPE 'A4' FINE AGGREGATE
 ④ DETECTABLE MARKER TAPE

NOTE:
 1.) IF GROUND WATER IS ENCOUNTERED LAY THE PIPE ON A 6" MINIMUM BEDDING OF 1" WASHED ROCK
 2.) BELL HOLES SHALL BE DUG IN ALL EMBEDMENT TO ALLOW THE FULL LENGTH OF PIPE BARREL TO REST ON BEDDING MATERIAL

3 SAFETY END TREATMENT
SCALE: N.T.S.

① CONCRETE: TXDOT 421, CLASS 'A'
 ② REINFORCING: TXDOT 440, GRADE 60, #4 @ 18" O.C.E.W.

4 36" GRATE INLET W/ TRAFFIC GRATE
SCALE: N.T.S.

① GALVANIZED STEEL GRATE
 ② DALWORTH PRECAST INLET OR APPROVED EQUAL
 ③ THIN WALL KNOCKOUTS (TYP. 4 SIDES)

NOTES:
 1). GRADE 60 REINFORCING
 2). 4000 PSI CONCRETE
 3). MAX PIPE DIA IS 24"

5 36" GRATE INLET W/ BEEHIVE GRATE
SCALE: N.T.S.

① NEENAH SQUARE BEEHIVE GRATE SERIES R-4346
 ② DALWORTH PRECAST INLET OR APPROVED EQUAL
 ③ THIN WALL KNOCKOUTS (TYP. 4 SIDES)
 ④ INLET ELEVATION TO THIS SURFACE

NOTES:
 1). GRADE 60 REINFORCING
 2). 4000 PSI CONCRETE
 3). MAX PIPE DIA IS 24"

06-12-2020
DATE NAME

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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS

CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

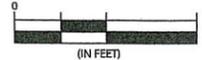
DRAINAGE DETAILS

North
C604



DATE: 06-12-2020
NAME: *D. Marek*

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KEY PLAN

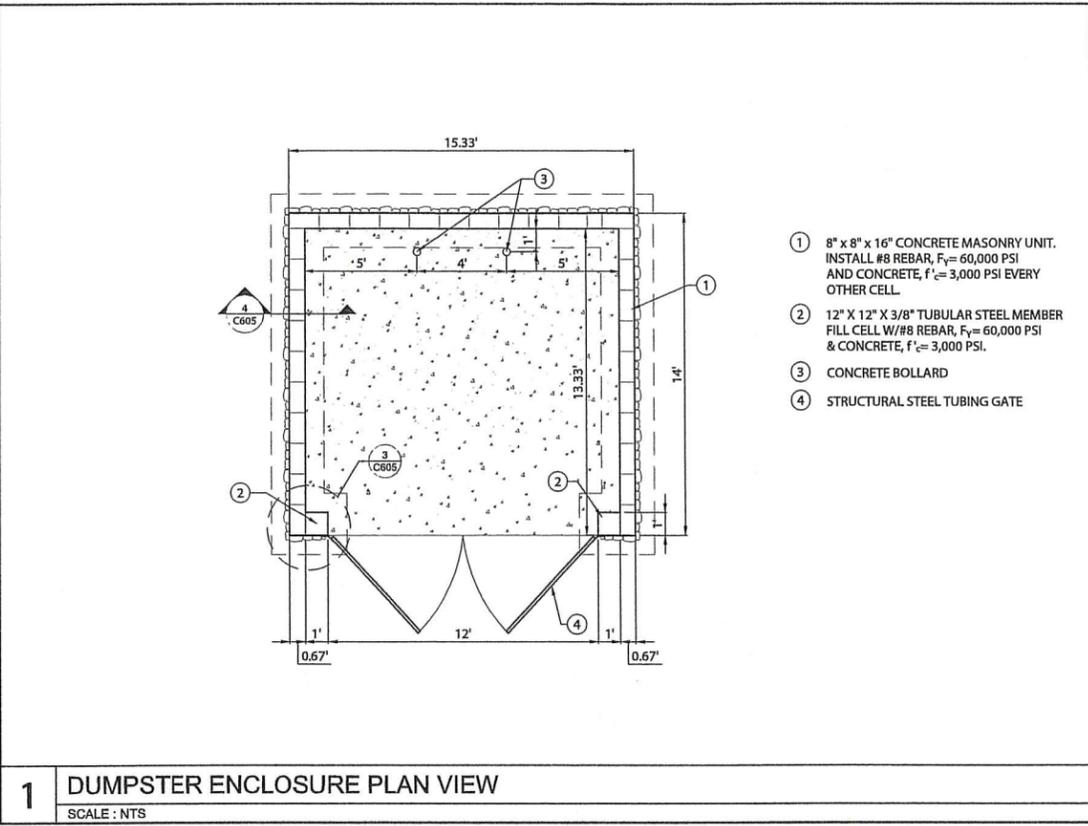
HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

DATE	ISSUED FOR
7-15-20	DRAINAGE MODIFICATIONS

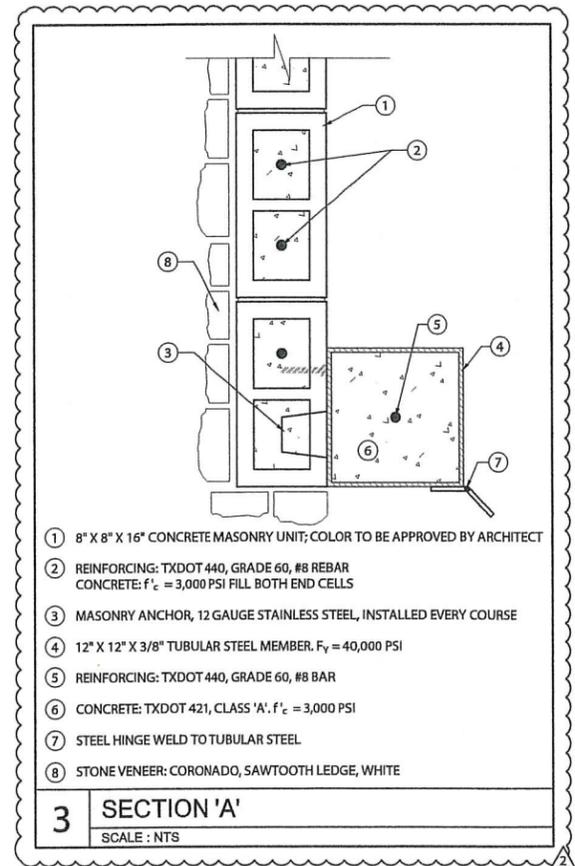
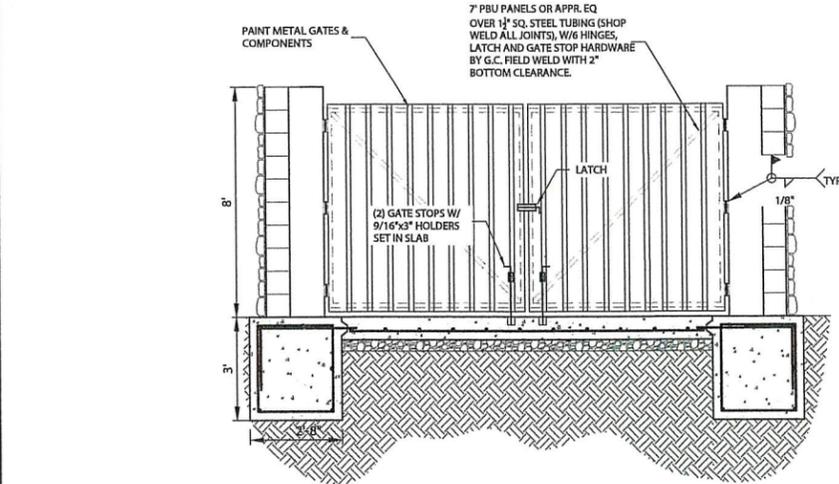
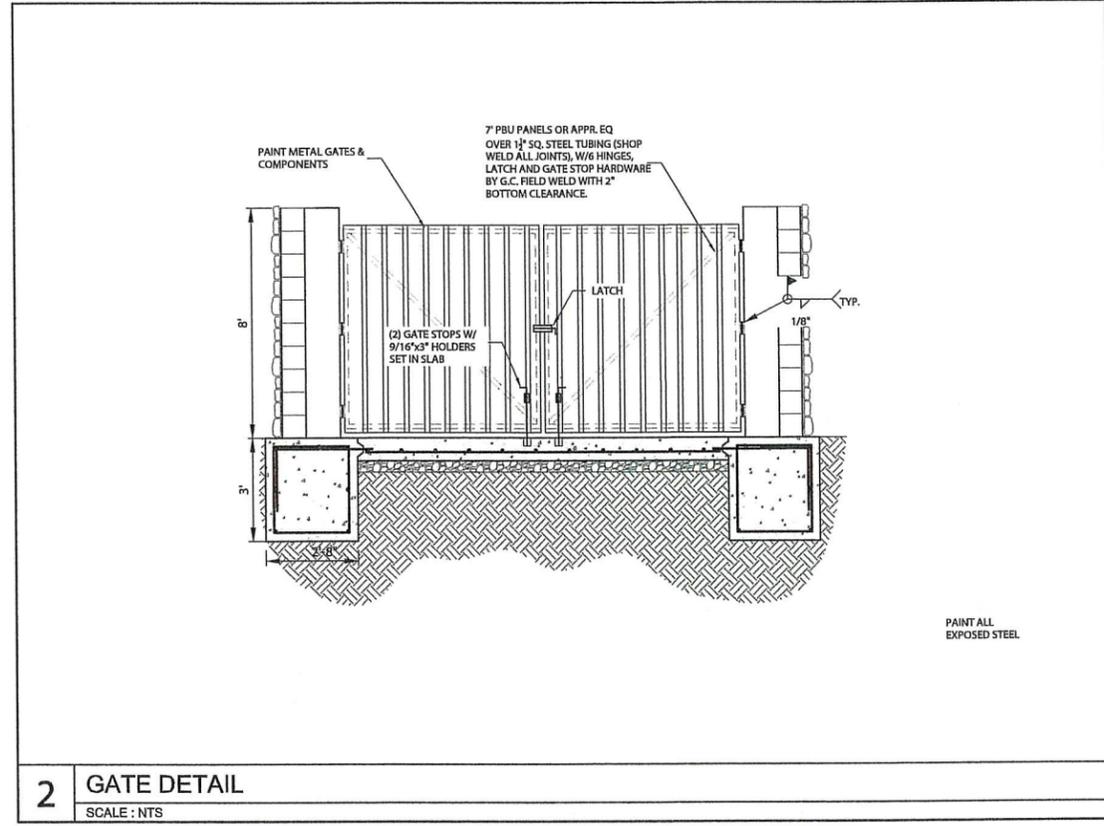


PROJ.# HTSS1900768 PM: DLM
CK BY: DLM DN BY: ECM

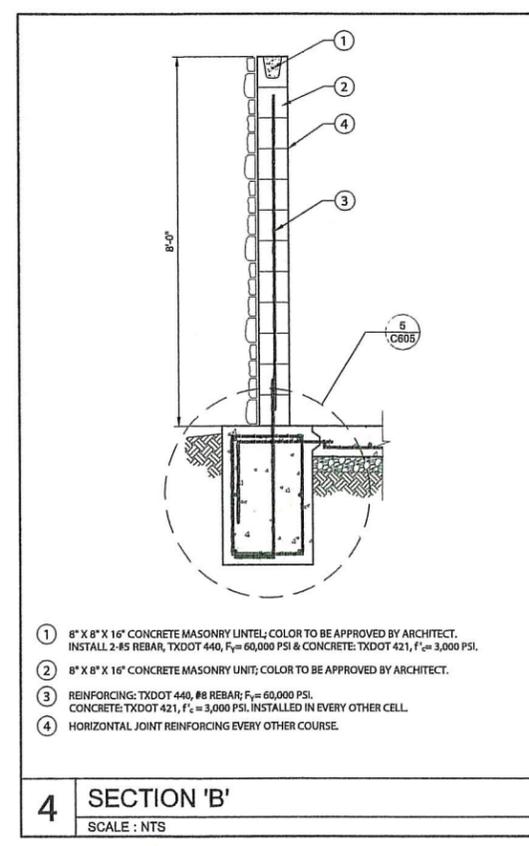
DUMPSTER ENCLOSURE DETAILS



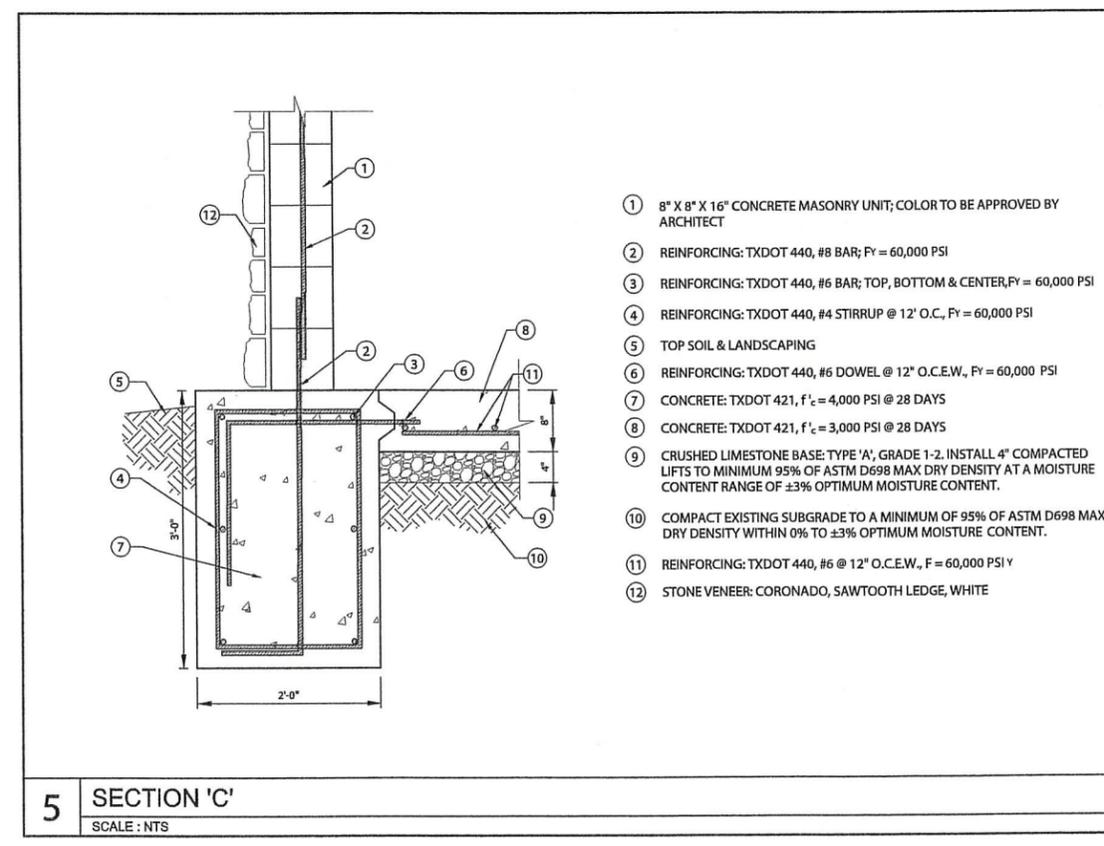
- ① 8" x 8" x 16" CONCRETE MASONRY UNIT. INSTALL #8 REBAR, F_y = 60,000 PSI AND CONCRETE, f'_c = 3,000 PSI EVERY OTHER CELL.
- ② 12" X 12" X 3/8" TUBULAR STEEL MEMBER FILL CELL W/#8 REBAR, F_y = 60,000 PSI & CONCRETE, f'_c = 3,000 PSI.
- ③ CONCRETE BOLLARD
- ④ STRUCTURAL STEEL TUBING GATE



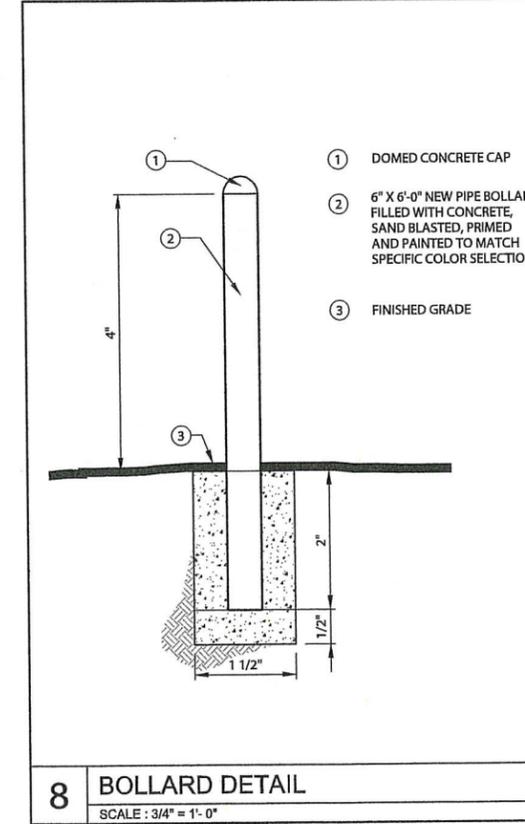
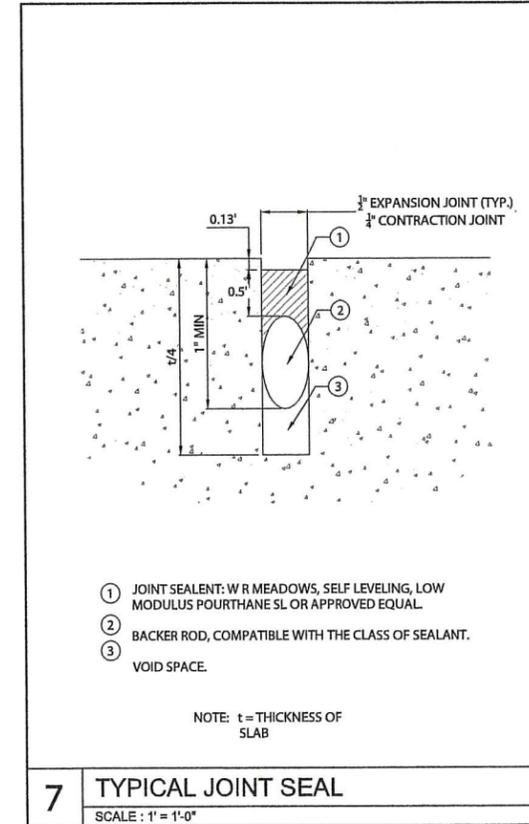
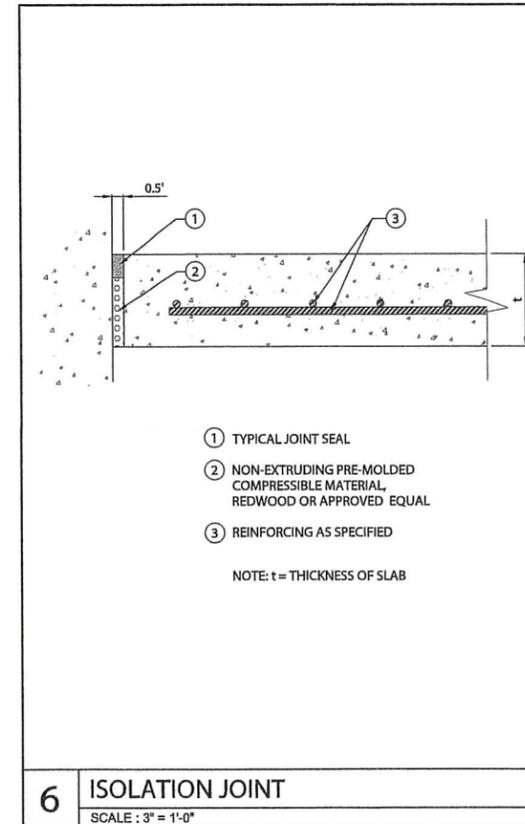
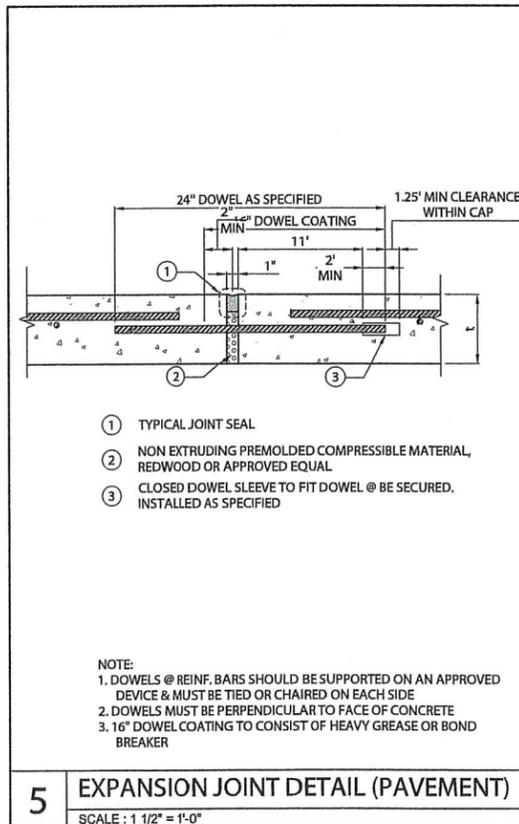
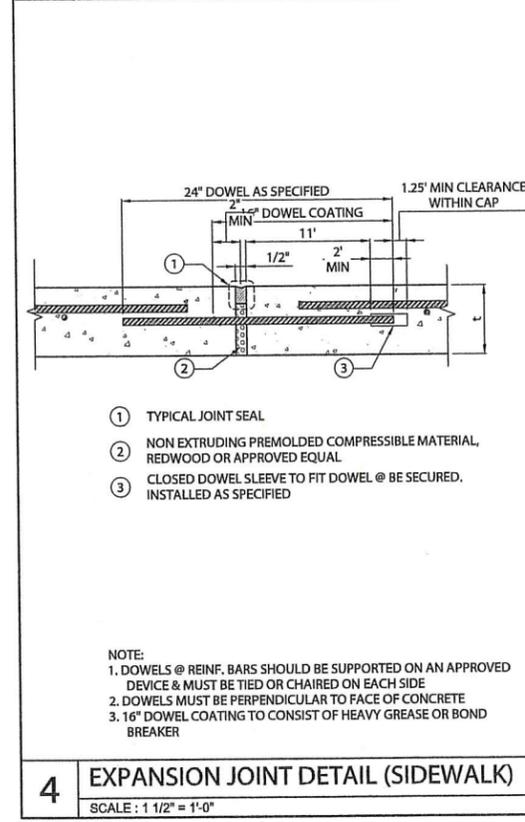
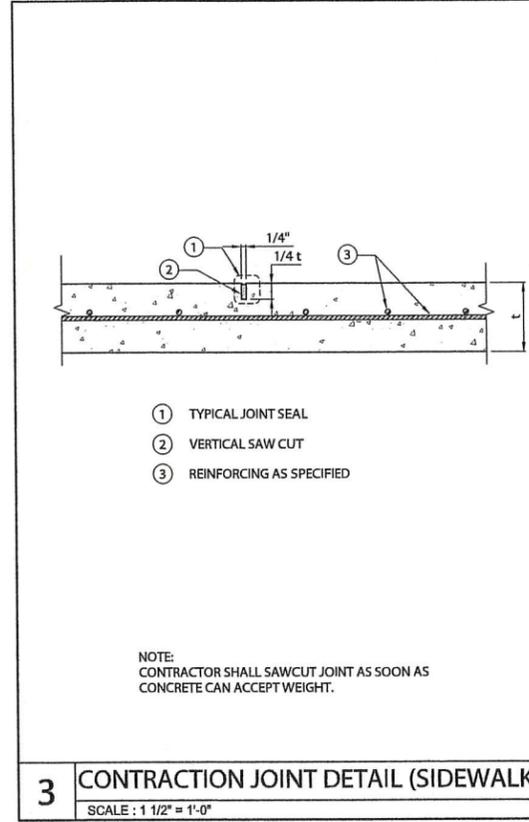
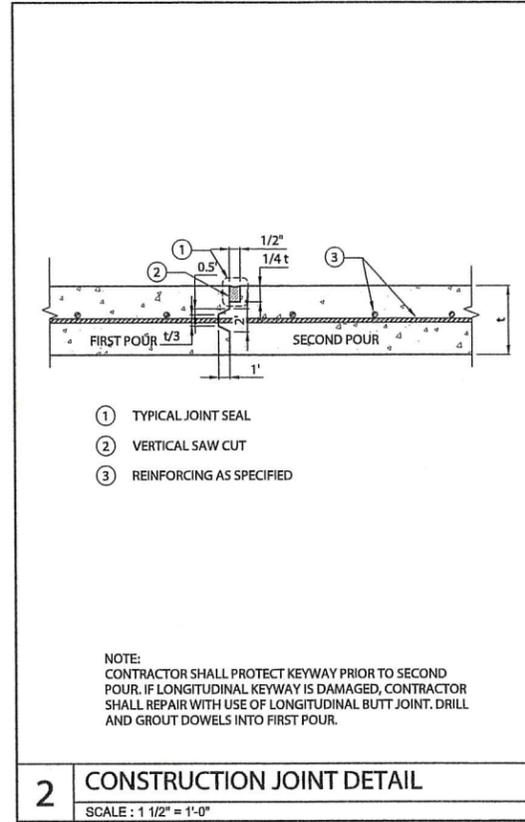
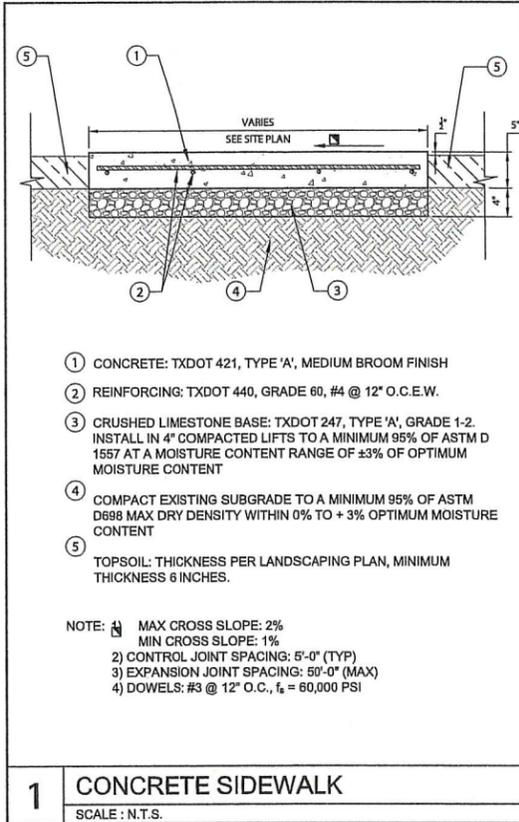
- ① 8" X 8" X 16" CONCRETE MASONRY UNIT; COLOR TO BE APPROVED BY ARCHITECT
- ② REINFORCING: TXDOT 440, GRADE 60, #8 REBAR CONCRETE: f'_c = 3,000 PSI FILL BOTH END CELLS
- ③ MASONRY ANCHOR, 12 GAUGE STAINLESS STEEL, INSTALLED EVERY COURSE
- ④ 12" X 12" X 3/8" TUBULAR STEEL MEMBER, F_y = 40,000 PSI
- ⑤ REINFORCING: TXDOT 440, GRADE 60, #8 BAR
- ⑥ CONCRETE: TXDOT 421, CLASS 'A', f'_c = 3,000 PSI
- ⑦ STEEL HINGE WELD TO TUBULAR STEEL
- ⑧ STONE VENEER: CORONADO, SAWTOOTH LEDGE, WHITE



- ① 8" X 8" X 16" CONCRETE MASONRY UNIT; COLOR TO BE APPROVED BY ARCHITECT. INSTALL 2-#5 REBAR, TXDOT 440, F_y = 60,000 PSI & CONCRETE: TXDOT 421, f'_c = 3,000 PSI.
- ② 8" X 8" X 16" CONCRETE MASONRY UNIT; COLOR TO BE APPROVED BY ARCHITECT.
- ③ REINFORCING: TXDOT 440, #8 REBAR, F_y = 60,000 PSI. CONCRETE: TXDOT 421, f'_c = 3,000 PSI. INSTALLED IN EVERY OTHER CELL.
- ④ HORIZONTAL JOINT REINFORCING EVERY OTHER COURSE.



- ① 8" X 8" X 16" CONCRETE MASONRY UNIT; COLOR TO BE APPROVED BY ARCHITECT
- ② REINFORCING: TXDOT 440, #8 BAR; F_y = 60,000 PSI
- ③ REINFORCING: TXDOT 440, #6 BAR; TOP, BOTTOM & CENTER, F_y = 60,000 PSI
- ④ REINFORCING: TXDOT 440, #4 STIRRUP @ 12" O.C., F_y = 60,000 PSI
- ⑤ TOP SOIL & LANDSCAPING
- ⑥ REINFORCING: TXDOT 440, #6 DOWEL @ 12" O.C.E.W., F_y = 60,000 PSI
- ⑦ CONCRETE: TXDOT 421, f'_c = 4,000 PSI @ 28 DAYS
- ⑧ CONCRETE: TXDOT 421, f'_c = 3,000 PSI @ 28 DAYS
- ⑨ CRUSHED LIMESTONE BASE: TYPE 'A', GRADE 1-2. INSTALL 4" COMPACTED LIFTS TO MINIMUM 95% OF ASTM D698 MAX DRY DENSITY AT A MOISTURE CONTENT RANGE OF ±3% OPTIMUM MOISTURE CONTENT.
- ⑩ COMPACT EXISTING SUBGRADE TO A MINIMUM OF 95% OF ASTM D698 MAX DRY DENSITY WITHIN 0% TO ±3% OPTIMUM MOISTURE CONTENT.
- ⑪ REINFORCING: TXDOT 440, #6 @ 12" O.C.E.W., F_y = 60,000 PSI
- ⑫ STONE VENEER: CORONADO, SAWTOOTH LEDGE, WHITE



06-12-2020
DATE NAME

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ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

KEY PLAN

HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

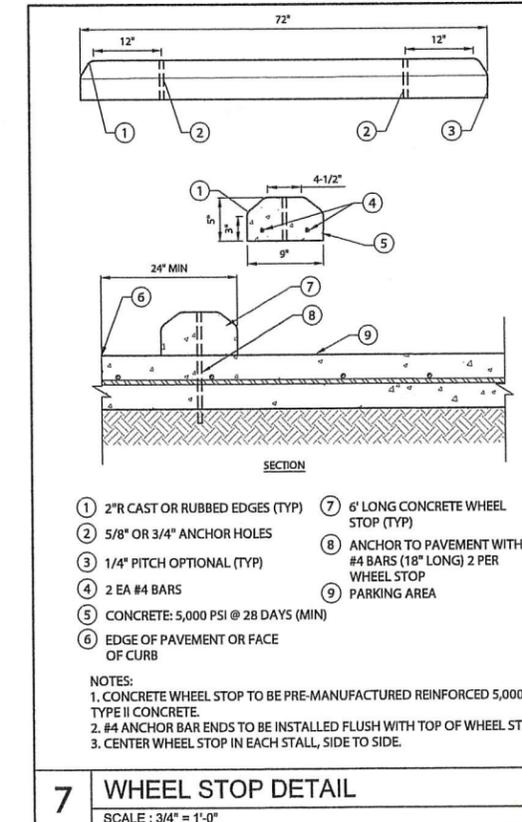
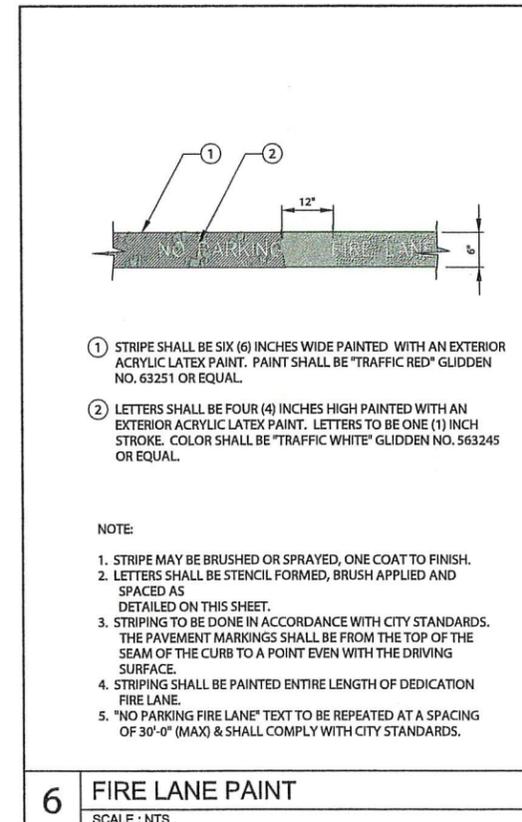
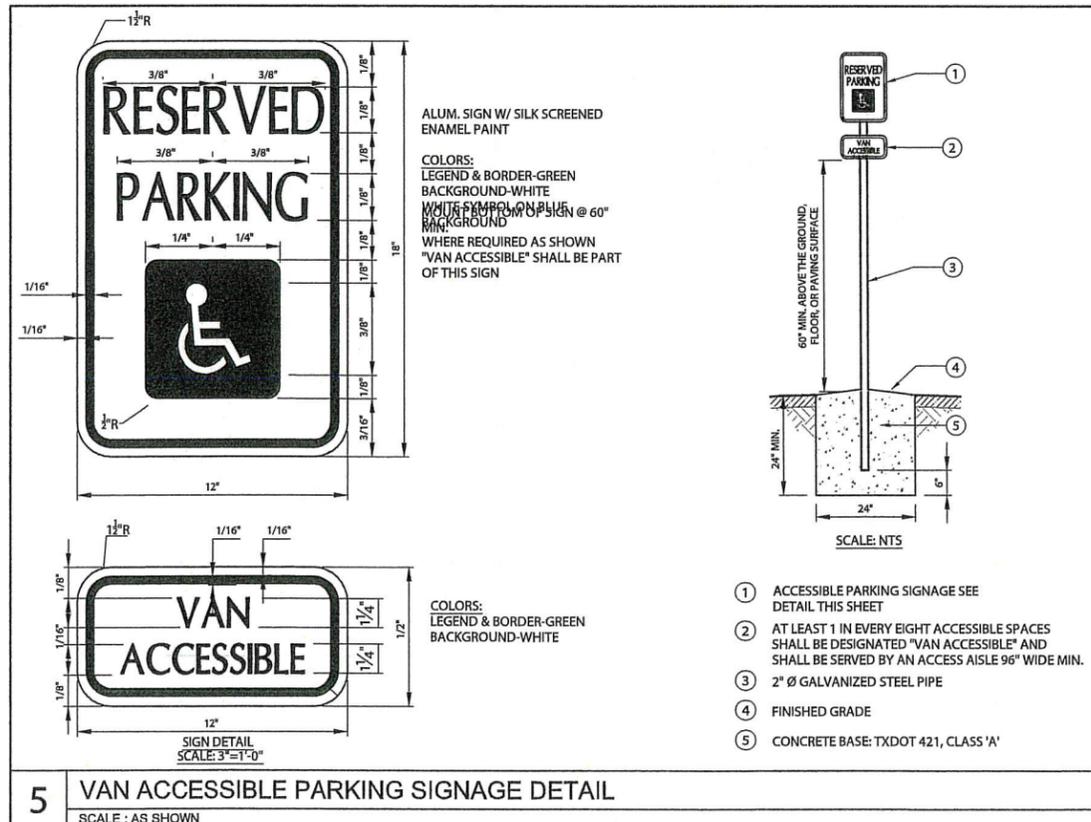
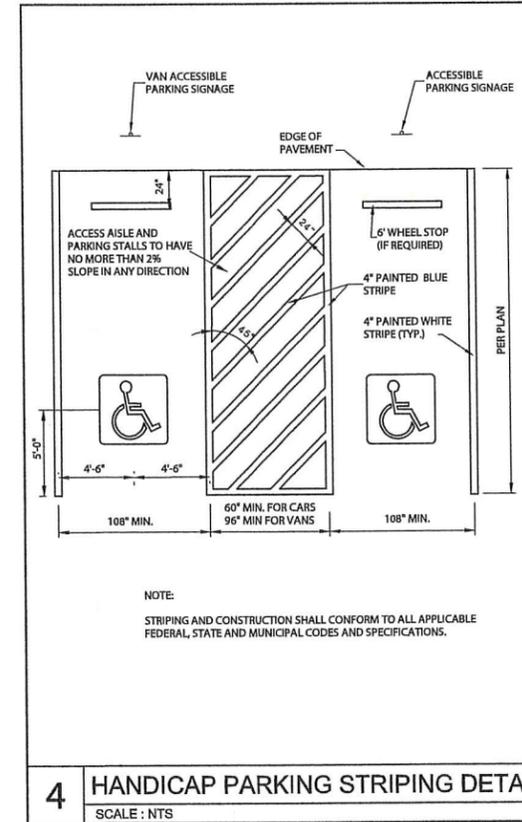
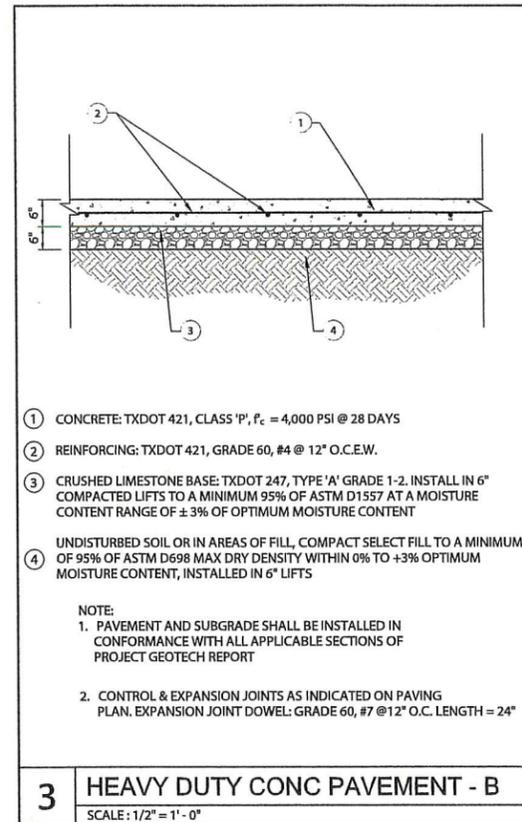
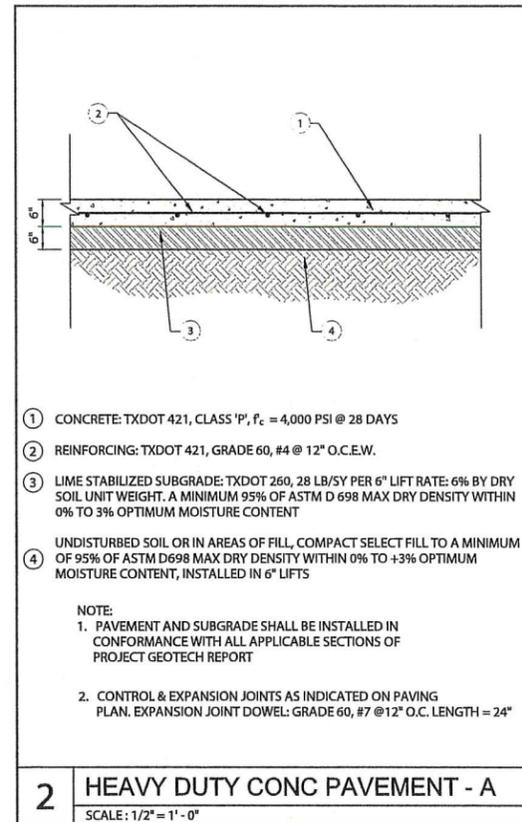
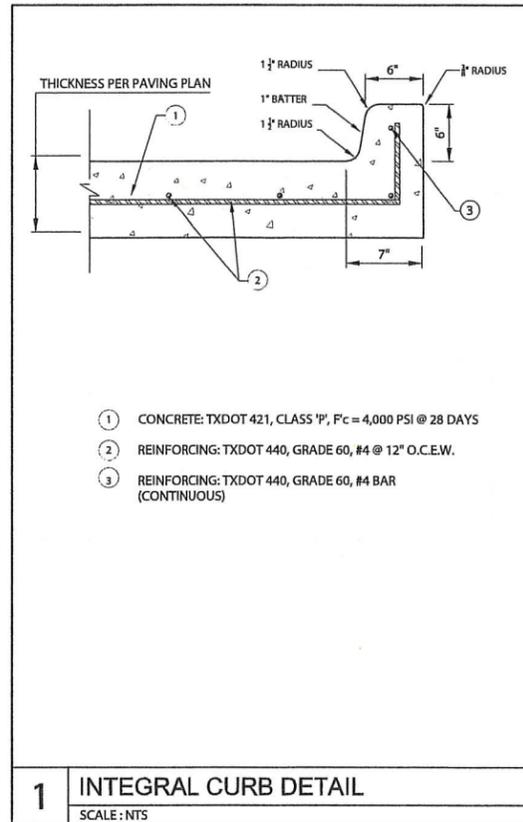
DATE	ISSUED FOR

CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

CIVIL DETAILS

C606



06-12-2020
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KEY PLAN

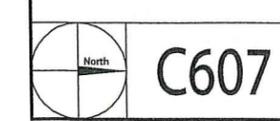
HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

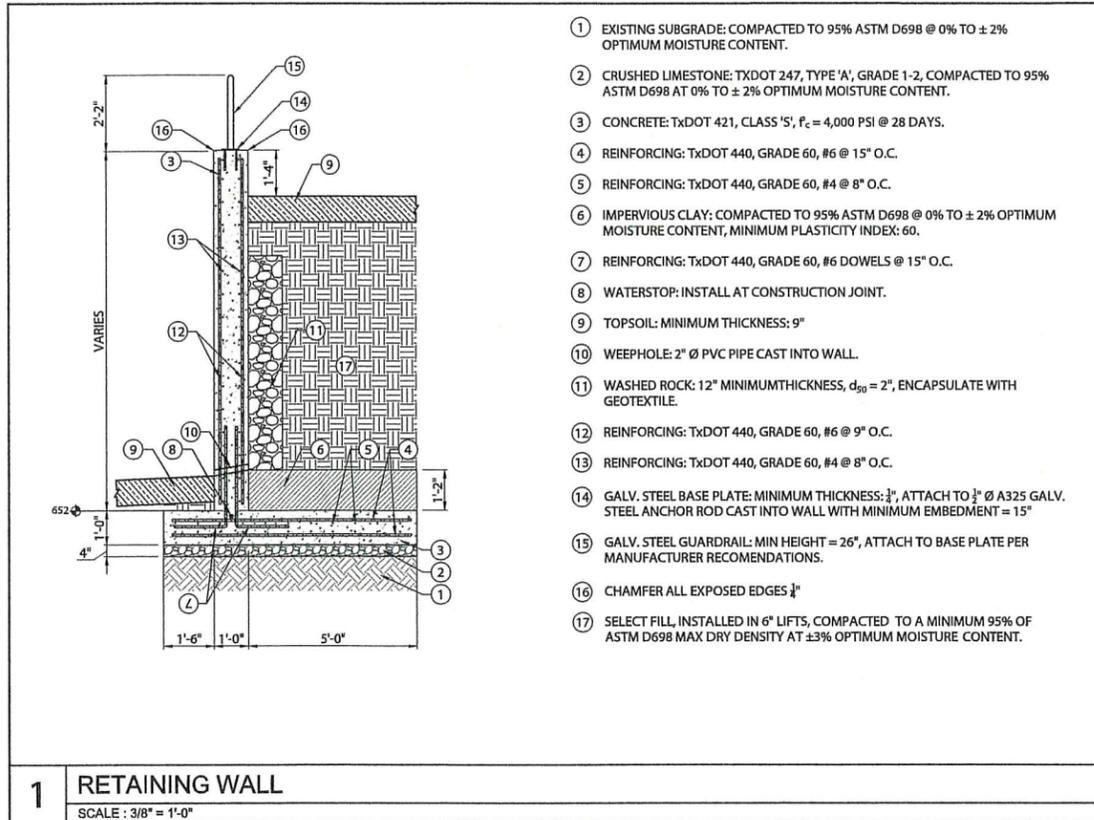
DATE	ISSUED FOR

CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTS51900768 PM: DLM
CK. BY: DLM DN. BY: ECM

CIVIL DETAILS





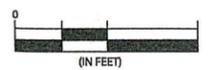
- ① EXISTING SUBGRADE: COMPACTED TO 95% ASTM D698 @ 0% TO ± 2% OPTIMUM MOISTURE CONTENT.
- ② CRUSHED LIMESTONE: TXDOT 247, TYPE 'A', GRADE 1-2, COMPACTED TO 95% ASTM D698 AT 0% TO ± 2% OPTIMUM MOISTURE CONTENT.
- ③ CONCRETE: TXDOT 421, CLASS 'S', $f_c = 4,000$ PSI @ 28 DAYS.
- ④ REINFORCING: TXDOT 440, GRADE 60, #6 @ 15" O.C.
- ⑤ REINFORCING: TXDOT 440, GRADE 60, #4 @ 8" O.C.
- ⑥ IMPERVIOUS CLAY: COMPACTED TO 95% ASTM D698 @ 0% TO ± 2% OPTIMUM MOISTURE CONTENT, MINIMUM PLASTICITY INDEX: 60.
- ⑦ REINFORCING: TXDOT 440, GRADE 60, #6 DOWELS @ 15" O.C.
- ⑧ WATERSTOP: INSTALL AT CONSTRUCTION JOINT.
- ⑨ TOPSOIL: MINIMUM THICKNESS: 9"
- ⑩ WEEPHOLE: 2" Ø PVC PIPE CAST INTO WALL.
- ⑪ WASHED ROCK: 12" MINIMUM THICKNESS, $d_{50} = 2"$, ENCAPSULATE WITH GEOTEXTILE.
- ⑫ REINFORCING: TXDOT 440, GRADE 60, #6 @ 9" O.C.
- ⑬ REINFORCING: TXDOT 440, GRADE 60, #4 @ 8" O.C.
- ⑭ GALV. STEEL BASE PLATE: MINIMUM THICKNESS: $\frac{3}{8}"$, ATTACH TO $\frac{3}{8}"$ Ø A325 GALV. STEEL ANCHOR ROD CAST INTO WALL WITH MINIMUM EMBEDMENT = 15"
- ⑮ GALV. STEEL GUARDRAIL: MIN HEIGHT = 26", ATTACH TO BASE PLATE PER MANUFACTURER RECOMMENDATIONS.
- ⑯ CHAMFER ALL EXPOSED EDGES $\frac{3}{8}"$
- ⑰ SELECT FILL, INSTALLED IN 6" LIFTS, COMPACTED TO A MINIMUM 95% OF ASTM D698 MAX DRY DENSITY AT ± 3% OPTIMUM MOISTURE CONTENT.

1 RETAINING WALL
SCALE : 3/8" = 1'-0"



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KEY PLAN

HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

DATE	ISSUED FOR

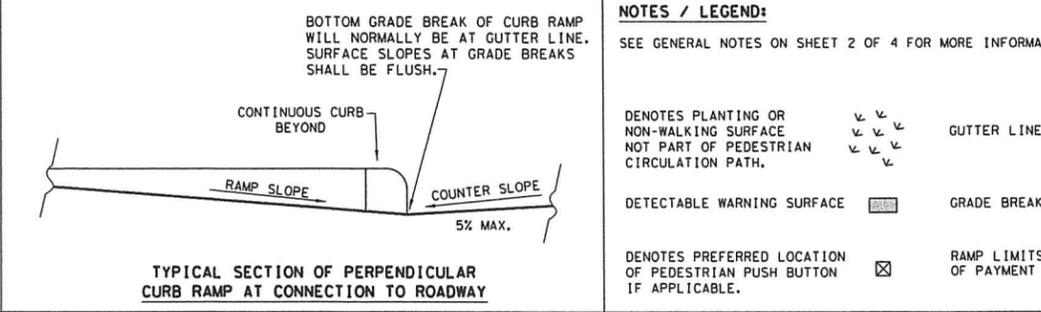
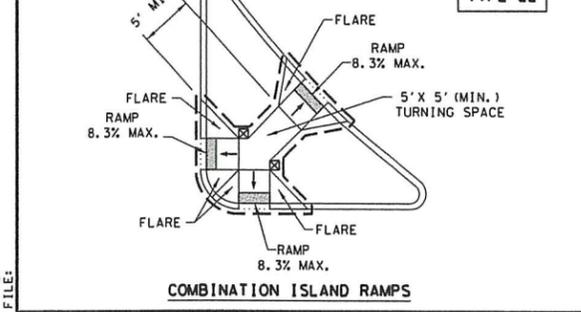
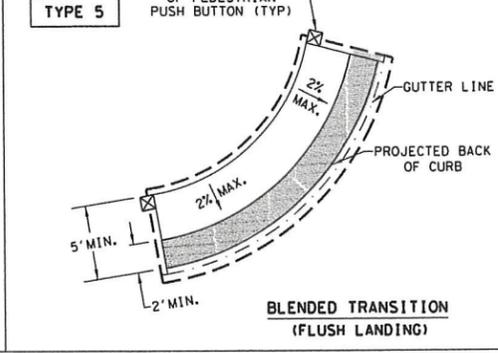
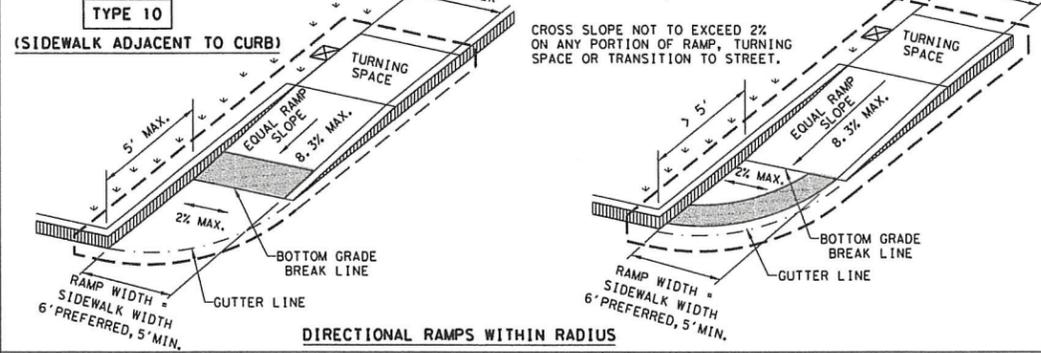
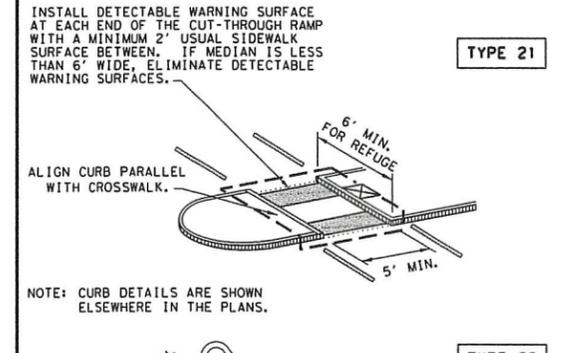
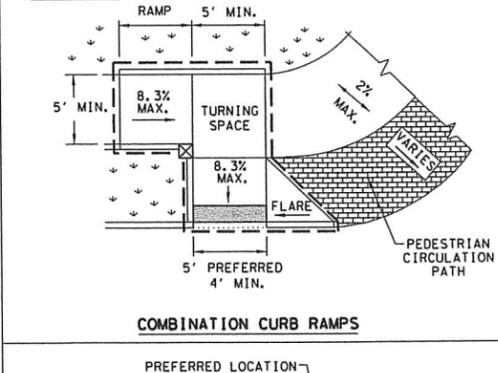
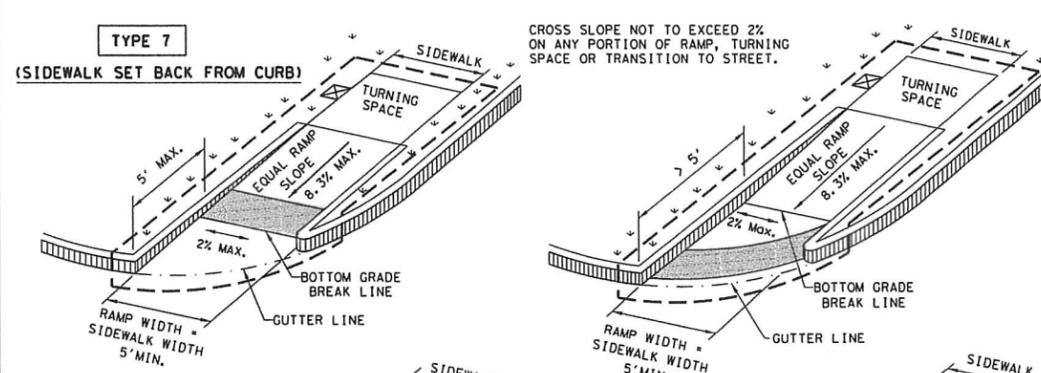
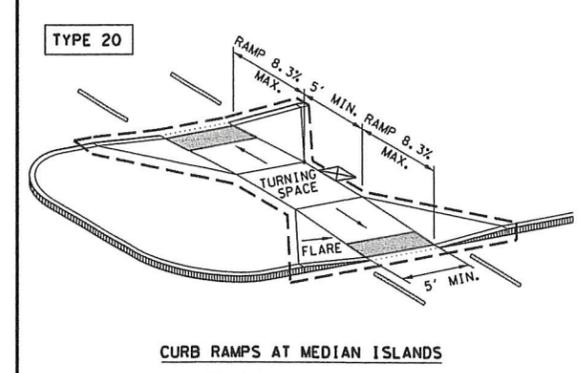
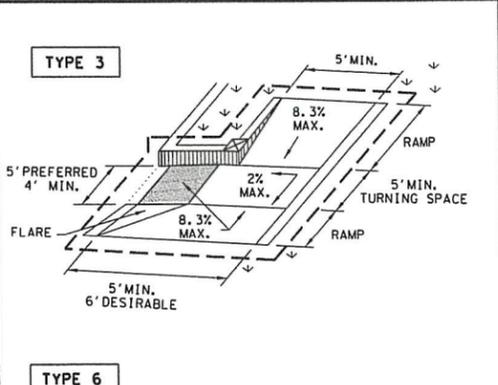
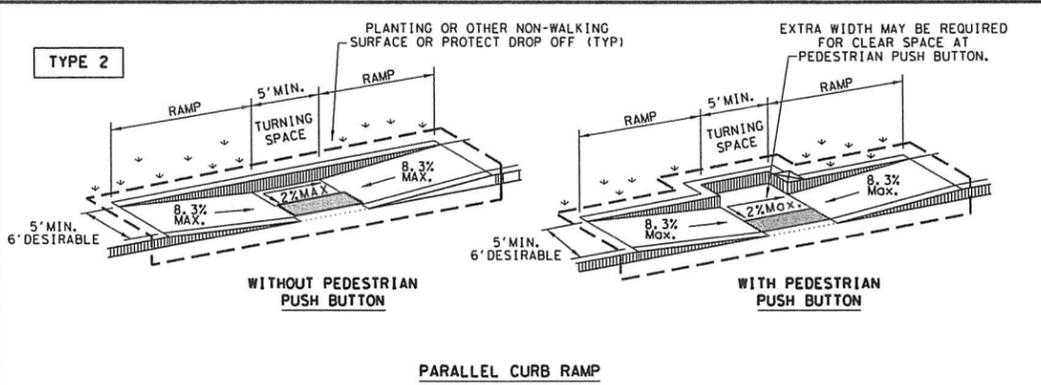
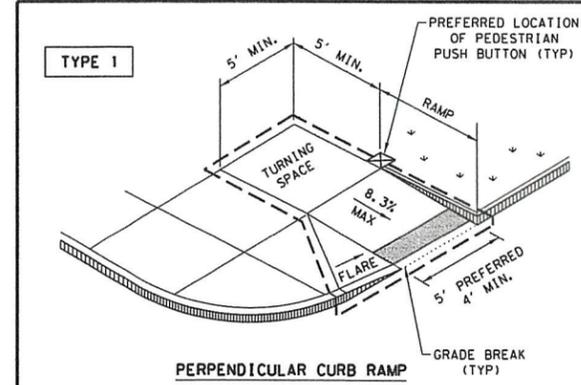
CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HT551900768 PM: DLM
CK. BY: DLM DN. BY: ECM

CIVIL DETAILS



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NOTES / LEGEND:
SEE GENERAL NOTES ON SHEET 2 OF 4 FOR MORE INFORMATION.

--- DENOTES PLANTING OR NON-WALKING SURFACE NOT PART OF PEDESTRIAN CIRCULATION PATH.

--- DENOTES PREFERRED LOCATION OF PEDESTRIAN PUSH BUTTON IF APPLICABLE.

--- GUTTER LINE

--- GRADE BREAK

--- RAMP LIMITS OF PAYMENT

SHEET 1 OF 4

Texas Department of Transportation Design Division Standard

PEDESTRIAN FACILITIES CURB RAMPS

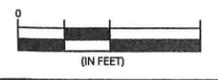
PED-18

FILE: pdg18	DIST	CDOT	SECT	JOB	HIGHWAY
© TxDOT: MARCH, 2002					
REVISED 08, 2005					
REVISED 06, 2012					
REVISED 01, 2018					



06-12-2020
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KEY PLAN

HEART OF TEXAS SMILES
DENTAL CLINIC
WOODWAY, TX

DATE	ISSUED FOR

CP&Y
CP&Y, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768 PM: DLM
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TXDOT RAMP DETAILS

North
C609

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DATE: FILE:

GENERAL NOTES

CURB RAMPS

1. Install a curb ramp or blended transition at each pedestrian street crossing.
2. All slopes shown are maximum allowable. Cross slopes of 1.5% and lesser running should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
3. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
4. The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable. Where a 5' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 4' for short distances. 5' x 5' passing areas at intervals not to exceed 200' are required.
5. Turning Spaces shall be 5' x 5' minimum. Cross slope shall be maximum 2%.
6. Clear space at the bottom of curb ramps shall be a minimum of 4' x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
8. Additional information on curb ramp location, design, light reflective value and texture may be found in the latest draft of the Proposed Guidelines for Pedestrian Facilities in the Public Right of Way (PROWAG) as published by the U.S. Architectural and Transportation Barriers Compliance Board (Access Board).
9. To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curbs. Medians should be designed to provide accessible passage over or through them.
10. Small channelization islands, which do not provide a minimum 5' x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
12. Provide curb ramps to connect the pedestrian access route at each pedestrian street crossing. Handrails are not required on curb ramps.
13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
14. Place concrete at a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
15. Furnish and install No. 3 reinforcing steel bars at 18" o.c. both ways, unless otherwise directed.
16. Provide a smooth transition where the curb ramps connect to the street.
17. Curbs shown on sheet 1 within the limits of payment are considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
18. Existing features that comply with applicable standards may remain in place unless otherwise shown on the plans.

DETECTABLE WARNING MATERIAL

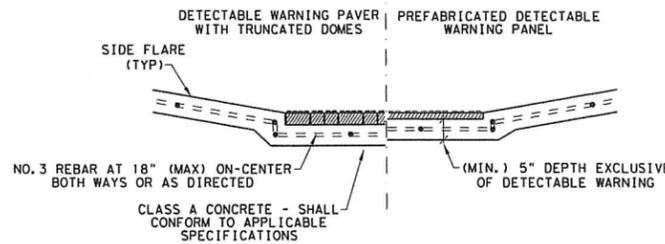
19. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with PROWAG. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cast-in-place dark brown or dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
20. Detectable Warning Materials must meet TxDOT Departmental Materials Specification DMS 4350 and be listed on the Material Producer List. Install products in accordance with manufacturer's specifications.
21. Detectable warning surfaces must be firm, stable and slip resistant.
22. Detectable warning surfaces shall be a minimum of 24 inches in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
23. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb and neither end of that edge is greater than 5 feet from the back of curb. Detectable warning surfaces may be curved along the corner radius.
24. Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.

DETECTABLE WARNING PAVERS (IF USED)

25. Furnish detectable warning paver units meeting all requirements of ASTM C-936, C-33. Lay in a two by two unit basket weave pattern or as directed.
26. Lay full-size units first followed by closure units consisting of at least 25 percent (25%) of a full unit. Cut detectable warning paver units using a power saw.

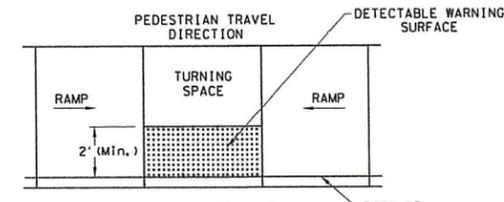
SIDEWALKS

27. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within unobstructed reach range specified in PROWAG section R406.
28. Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.
29. Street grades and cross slopes shall be as shown elsewhere in the plans.
30. Changes in level greater than 1/4 inch are not permitted.
31. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than five percent (5%) must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with PROWAG R409.
32. Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.
33. Driveways and turnouts shall be constructed and paid for in accordance with Item "Intersections, Driveways and Turnouts". Sidewalks shall be constructed and paid for in accordance with Item, "Sidewalks".
34. Sidewalk details are shown elsewhere in the plans.

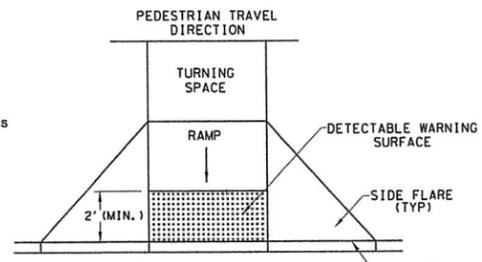


**SECTION VIEW DETAIL
CURB RAMP AT DETECTIBLE WARNINGS**

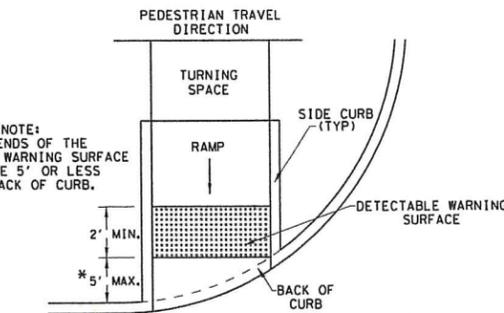
DETECTABLE WARNING SURFACE DETAILS



**PARALLEL CURB RAMP
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON LANDING AT STREET EDGE.**



**PERPENDICULAR CURB RAMP
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.**



**DIRECTIONAL CURB RAMP
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.**

SHEET 2 OF 4

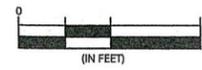
Texas Department of Transportation Design Division Standard

**PEDESTRIAN FACILITIES
CURB RAMPS
PED-18**

FILE: ped18	DIST: TxDOT	DM: VP	CK: KM	CK: PR & JG
© TxDOT: MARCH, 2002	CONT: SECT	JOB: HIGHWAY		
REVISIONS				
REVISED 08, 2005	DIST:	COUNTY:	SHEET NO.:	
REVISED 04, 2012				
REVISED 01, 2018				



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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR

CP&Y

CP&Y, INC.

TEXAS REGISTERED ENGINEERING FIRM
F-1741

PROJ. # HTSS1900768 PM: DLM
CK. BY: DLM DN. BY: ECM

**TXDOT RAMP
DETAILS**

North

C610



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Malia A. Elkins, Court Administrator

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and consider action on Ordinance 20-07, amending and replacing, in its entirety, Chapter 15, Solicitors and Peddlers, of the City of Woodway Code of Ordinances.

Background Information:

Enacted back in September 27, 1965, amended April 13, 2009 and last amendment occurred March 24, 2014. To protect First Amendment freedoms and to ensure compliance with current court case decisions regarding constitutional solicitation rights within City limits, City Staff replaced in its entirety Chapter 15, Solicitor and Peddlers, of the City of Woodway Code of Ordinances.

This ordinance will establish in detail the following:

- A permit requirement and an application process and fees
- Identification Card Requirement
- Regulations for commercial and/or non-commercial solicitation within the City of Woodway and making certain practices or conduct of solicitation a violation
- Providing for an exemption, denial or revocation and appeal of a permit
- Providing for a violation of the regulations to be an offense punishable by a fine not to exceed five hundred (\$500.00)
- Making each violation or each day of a continuing violation a separate offense

Current Solicitor Permit Fee is \$100 per approved person. Proposed permit fee will be \$30 for Commercial Applicant and \$25 for Non-Commercial. An additional \$25 per person fee to reimburse the City to run a criminal history report. \$5.00 fee for each identification card issued. On average, the City approves 12 permits a year.

Financial Impact:

Total of Proposed Expenditure: N/A

Amount Budgeted:

Account No.:

If not budgeted, other funding options:

Staff Recommendation:

Adopt Ordinance 20-07, amending and replacing, in its entirety, Chapter 15, Solicitors and Peddlers, of the City of Woodway Code of Ordinances.

ORDINANCE NO. 20-07

AN ORDINANCE OF THE CITY OF WOODWAY, TEXAS AMENDING BY REPLACING AND REPEALING IN ITS ENTIRETY CHAPTER 15 OF THE CODE OF ORDINANCES OF THE CITY OF WOODWAY, TEXAS “SOLICITORS AND PEDDLERS”; ESTABLISHING A PERMIT REQUIREMENT AND AN APPLICATION PROCESS; ESTABLISHING FEES; ESTABLISHING IDENTIFICATION CARD REQUIREMENT; ESTABLISHING REGULATIONS FOR COMMERCIAL AND/OR NON-COMMERCIAL SOLICITATION WITHIN THE CITY OF WOODWAY AND MAKING CERTAIN PRACTICES OR CONDUCT OF SOLICITATION A VIOLATION; PROVIDING FOR AN EXEMPTION; PROVIDING FOR DENIAL OR REVOCATION OF A PERMIT; PROVIDING FOR AN APPEAL; PROVIDING FOR A VIOLATION OF THE REGULATIONS TO BE AN OFFENSE PUNISHABLE BY A FINE NOT TO EXCEED FIVE HUNDRED (\$500.00) DOLLARS; MAKING EACH VIOLATION OR EACH DAY OF A CONTINUING VIOLATION A SEPARATE OFFENSE; ESTABLISHING AN EFFECTIVE DATE; ADOPTING A SEVERABILITY CLAUSE; AND DIRECTING THE CITY SECRETARY TO PUBLISH THE CAPTION OF THIS ORDINANCE IN THE CITY’S OFFICIAL PUBLIC NEWSPAPER

WHEREAS, the current Chapter 15 of the City of Woodway Code of Ordinances is due for updating; and

WHEREAS, the Woodway City Council finds that it is in the best interest of the citizens of the City of Woodway to create further regulations and clarify existing regulations governing solicitation within the City of Woodway, Texas.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOODWAY, TEXAS:

1. The foregoing recitals are adopted and made findings of fact.

2. Chapter 15 of the Code of Ordinances of the City of Woodway, Texas “SOLICITORS AND PEDDLERS” is hereby amended by replacement and is repealed in full, including each Article, Division or Section thereof, and a new Chapter 15 of the Code of Ordinances of the City of Woodway, Texas is ADOPTED which reads as follows:

Chapter 15 - SOLICITORS AND PEDDLERS

ARTICLE 1. - SOLICITORS

Sec. 15-1. - Definitions.

The following words and phrases, when used in this chapter, shall have the meanings ascribed by this section:

Applicant means the person that applies for an identification card;

Master Permit means a permit issued to a person who will be soliciting in the City through employees, contractors, agents, or volunteers. This grants the employees, contractors, agents, or volunteers no individual permit or right to solicit; rather, their permission to solicit is completely dependent on the Master Permit and ends on the expiration or revocation of the Master Permit.

Commercial solicitation means for-profit solicitation that is for private gain as opposed to being for charitable, philanthropic, fraternal, civic, political, educational, religious or benevolent purposes;

City means the City of Woodway, Texas;

Disqualifying Offense means:

- criminal homicide (Chapter 19 Texas Penal Code)
- kidnapping (Chapter 20 Texas Penal Code)
- a sexual offense (Chapter 21 Texas Penal Code)
- an assault offense (Chapter 22 Texas Penal Code)
- Robbery (Chapter 29 Texas Penal Code)
- Burglary (Chapter 20 Texas Penal Code)
- Theft (Chapter 31 Texas Penal Code) committed against a person with whom the applicant came in contact while engaged in a home solicitation business
- Fraud (Chapter 32 Texas Penal Code) committed against a person with whom the applicant came in contact while engaged in a home solicitation business
- Weapons violations (Chapter 46 Texas Penal Code) punishable as a felony
- Criminal Attempt to commit any of the offenses listed above

Identification Card are cards issued by the City identifying the Applicant and/or the solicitor's contractors, agents, employees, and volunteers which represents that they are allowed to solicit within the City;

Individual Permit means a permit issued to an Applicant who is the sole person proposing to solicit within the City;

Non-commercial solicitation means not-for-profit solicitation that is for charitable, philanthropic, fraternal, civic, political, educational, religious or benevolent purposes;

Permit means either a Master Permit or Individual Permit unless otherwise stated;

Permittee means the person issued the Master or Individual Permit by the City;

Person means any individual, corporation, business trust, estate trust, partnership, association, two (2) or more persons having a joint or common interest, or any other legal or commercial entity;

Public property or public place means any property open or devoted to public use or owned by the City and any area dedicated to the public use for sidewalk, street, highway, or other

transportation purposes including any curb, median parkway, shoulder, sidewalk, alley, drive, or public right-of-way;

Private premises means any dwelling, house, building or other structure, designed or used either wholly or in part for private residential purposes whether occupied or vacant and shall include any yard, grounds, walls, driveway, porch, steps, vestibule, or mailbox belonging or appurtenant to such dwelling; house, building, or other structure;

Roadway means the paved portion of a public street;

Solicitation or *soliciting* means the act of asking, bartering, or communicating in any other such manner, whether orally, in writing, hand signing, or any other method, either directly or by implication, for the purpose of receiving or obtaining money, alms, gifts, or items of value, or taking orders for any goods, merchandise, or services, whether or not an actual employment relationship is created, a transaction is completed, or an exchange of money, goods, or services actually takes place.

Sec. 15-2. Permit required to engage in solicitation.

- (a) It shall be unlawful for any Person to engage in Solicitation within the City without a valid, unexpired Permit issued by the City, whether an Individual Permit or Master Permit as applicable;
- (b) It shall be unlawful for any person operating as an employee, contractor, agent, or volunteer of another person to engage in Solicitation within the City without the person for whom they are soliciting having a valid, unexpired Master Permit issued by the City.

Sec. 15-3. Identification Card Required for Commercial Solicitors or Non-Commercial Solicitors who are paid to solicit.

Every Person engaging in Commercial Solicitation, or in Non-Commercial Solicitation where the solicitors are paid to solicit, within the City must have a City-issued Identification Card. It shall be unlawful for any person required to have an Identification Card to solicit without visibly displaying the City-issued identification card. It shall be unlawful for a person to represent, in connection with a solicitation, that the issuance of the identification card by the city constitutes an endorsement or approval of the purposes, means, methods, services, or merchandise by the city or any of its officers or employees.

Once a Master Permit is granted each person covered by the Master Permit will be issued an Identification Card as set forth below. Each person to receive an Identification Card under a granted Permit must come to the police department to be photographed and have their Identification Card made; a picture identification must be provided to verify the person being photographed is the person to whom the Identification Card is being issued. A fee of \$5.00 per Identification Card shall be added to the total Permit Fee.

Sec. 15-4. - Application for Permit—Commercial solicitation.

- (a) A person seeking a Permit for the purpose of conducting commercial solicitation shall file an application with the chief of police on the application form provided by the chief of police. Such application shall contain at a minimum the following information:
 - (1) The full name and address of the Applicant;

- (2) Whether the person applying is a natural person, partnership, corporation, or association and:
 - a. The business or residence address, telephone number, and e-mail address and facsimile number, if applicable, of the Applicant;
 - b. If a partnership, the name of all partners and the principal business address, telephone number, and e-mail address and facsimile number, if applicable, of each partner;
 - c. If a corporation or any other entity required to be registered with the Texas Secretary of State, the person applying shall state whether it is organized under the laws of this state or is a foreign corporation, and must show the mailing address, address of the registered agent, business location, telephone number, name of the individual in charge of such corporation and the individual's e-mail address and facsimile number, if applicable, and, if a foreign corporation, the place of incorporation; and
 - d. If an association, the application shall show the association's principal business address and telephone number and shall show names and principal business or residence addresses, telephone numbers, and e-mail addresses and facsimile numbers of the officers and directors or trustees of the association. If the association is a part of a multi-state organization or association, the applicant also shall include the mailing address and business location of its central office, in addition to the mailing address and business location of its local office.
 - (3) The full name, mailing and physical address, telephone number, and e-mail address and date of birth of all individuals who will be in direct charge or control of the solicitation, including an individual Applicant [plus other identifiers required for a criminal history check to be conducted];
 - (4) The full name, mailing and physical address, telephone number, and e-mail address and date of birth of each individual who will be soliciting for the Applicant under a Master Permit [plus other identifiers required for a criminal history check to be conducted];
 - (5) The application must contain a certification by the Applicant that the Applicant and the Applicant's solicitors have not been convicted of any Disqualifying Offense;
 - (6) The time period within which the solicitation is to be conducted, giving the date of the beginning of solicitation and its projected conclusion, how often the applicant expects to engage in solicitation during the specified time period, and during what times of day that the applicant will engage in solicitation;
 - (7) A description of the methods and means by which the solicitation is to be accomplished;
 - (8) The nature of the merchandise to be sold or offered for sale or the nature of the services to be furnished;
 - (9) Whether such Applicant, upon any such order so obtained, will demand, accept, or receive payment or deposit of money in advance of final delivery; and
 - (10) Identification of any other cities where Applicant has solicited during the 12 months prior to the application.
- (b) The Applicant shall not provide a post office box as its address on the application for a permit.

- (c) The application must be signed by the Applicant, if the person applying is an individual; if the person applying is a partnership, by a partner; if the person applying is a corporation or an association, by its authorized representative. The individual signing the application shall sign the application and swear before an officer authorized to administer oaths that he has carefully read the application and that all the information contained therein is true and correct.
- (d) Information provided by Applicant is subject to verification by the police department. By submitting the Application, the Applicant and any solicitors covered by its Permit consent to the City's Police Department conducting a criminal background check.
- (e) Such application shall also show satisfactory written proof of the signatory's authority to represent the company.
- (f) The application must be accompanied by a copy of a valid state sales tax certificate, if applicable.
- (g) A nonrefundable fee per Application is due and is to be paid upfront. For an individual Applicant, an additional fee is to be paid to cover the cost of a Texas Department of Public Safety criminal history check. For an Applicant for a Master Permit, an additional fee for each individual listed on the application who shall be engaging in solicitation for the Applicant is to be paid to cover the cost of a Texas Department of Public Safety criminal history check (whether paid by the Master Permit Applicant or individual solicitors—there is only one Permit). These fees shall be established by resolution as part of the City of Woodway Master Fee Schedule. No Permit provided for by this chapter shall be issued until such fees have been paid. Individuals who file a verified statement indicating their indigent status (with supporting information) which is found true by the finance director are exempt from paying this fee.
- (h) No person who is required to register as a sex offender or has been convicted of a Disqualifying Offense may solicit in the City and no Permit or Identification Card shall be issued to such a person.
- (i) If a vehicle is to be used in the Solicitation, the year, make, model and color of the vehicle, along with its license plate number and proof of current registration and required liability insurance.

Sec. 15-5. - Application for Permit—Non-commercial solicitation.

- (a) A person seeking a Permit for the purpose of conducting non-commercial solicitation shall file an application with the chief of police on the application form provided by the chief of police. Such application shall contain at a minimum the following information:
 - (1) The name, address, telephone number, and contact person for the soliciting organization;
 - (2) Information showing the not-for-profit nature of the soliciting organization and its charitable, philanthropic, fraternal, civic, political, educational, religious or benevolent purpose;
 - (3) The time period within which the solicitation is to be conducted, giving the date of the beginning of solicitation and its projected conclusion, how often the applicant expects to engage in solicitation during the specified time period, and during what times of day that the applicant will engage in solicitation;

- (4) A description of the methods and means by which the solicitation is to be accomplished;
 - (5) The nature of the merchandise to be sold or offered for sale or the nature of the services to be furnished;
 - (6) Whether such applicant, upon any such order so obtained, will demand, accept, or receive payment or deposit of money in advance of final delivery;
 - (7) A statement that the Applicant has verified that none of the persons to be involved in Solicitation are required to register as a sex offender or a conviction for a Disqualifying Offense;
 - (8) If the solicitors *are paid* to solicit, the Permit fee shall include an additional \$25.00 for each solicitor to cover the cost of Texas Department of Public Safety criminal history checks will be added to the Application Fee and must be paid;
 - (9) No person who is required to register as a sex offender or who has been convicted of a Disqualifying Offense may solicit within the City, and no Permit or Identification Card shall be issued to such persons;
- (b) An application fee of \$25 is required for a permit for non-commercial solicitation. If the solicitation is for a school or youth organization no application fee will be due. If solicitors are paid to solicit, they must have an Identification Card as set forth in Section 15-3 above and the \$5.00 per Identification Card fee must be paid. In addition, if solicitors are paid to solicit, the additional \$25 fee per solicitor set forth in Section 15-5 (a)(8) above must be paid.
- (c) Non-Commercial Solicitors are subject to the same restrictions on the conduct of solicitations as Commercial Solicitors.

Sec. 15-6. - Exemption from Permit requirement.

A solicitor that is not offering goods or services or soliciting donations, but, rather is merely distributing information, conducting a poll, enlisting support for a measure or candidate, informing or inquiring about religious or political views, or similar activities is not required to obtain a Permit.

Sec. 15-7. - Issuance, duration, and form of Permit and Identification Cards.

- (a) A Permit applied for under this chapter shall be issued or denied by the chief of police after review of the application to determine compliance with this chapter, payment of the required fee, and within ten (10) business days of receipt of the application. If the chief of police does not deny the issuance of the Permit within ten (10) business days of receipt of the application, the Permit shall be issued;
- (b) The Permit shall reflect the time period for which the solicitation has been permitted. The Permit expires at the end of that time period;
- (c) The duration of a Permit requested under this chapter for the purpose of private premises solicitation shall not exceed one calendar year from the date of issuance;
- (d) The chief of police shall prescribe the form of the Permit and Identification Cards;

Sec. 15-8. - Transfer of Permit or Identification Card prohibited.

A Permit or Identification Card shall not be transferred or assigned to another person. Any attempt to transfer or assign a Permit or Identification Card is a cause for revocation.

Sec. 15-9. - Denial or revocation of Permit.

- (a) A Permit issued under this chapter may be revoked and the person who had the Permit may be prohibited from reapplying for the period covered by the original application, or an application for a Permit may be denied, when it has been determined that:
 - (1) An Applicant has knowingly given false or misleading information on an application;
 - (2) An Applicant (or a contractor, employee, agent or volunteer thereof) has a disqualifying criminal history;
 - (3) An Applicant has had three (3) or more final convictions for violation of city regulations in cities that it has operated in during the previous 12 months;
 - (4) An Applicant has been the subject of a fraud or deceptive business practices alert by any state office or agency during the previous 12 months;
 - (5) An Applicant has had solicitation permits revoked in two (2) or more cities during the previous 12 months and those revocations have not been reversed or are not the subject of a pending lawsuit as to the propriety of the revocation;
 - (6) An Applicant (or a contractor, agent, employee, or volunteer thereof) has been convicted of theft or fraud or a violation of any city, state, or federal law, in connection with solicitation within the City;
 - (7) An Applicant (or a contractor, agent, employee, or volunteer thereof) has made or caused to be made, materially false statements or misrepresentations to members of the public with regard to the solicitation;
 - (8) An applicant (or a contractor, agent, employee, or volunteer thereof) violates any part of any of the provisions of this chapter, including but not limited to the requirement of no solicitation at residences where “no solicitation” signs or placards are present.
- (b) If the chief of police denies an application for a Permit, he shall notify the Applicant in writing within ten (10) business days of receipt of the application of the denial and the basis of the denial.
- (c) Prior to revoking a Permit, the chief of police shall deliver written notice of the possible revocation, the basis of the revocation, and a statement that the Permittee has five (5) business days after delivery to comply with the notice to prevent revocation (but only if the matter can be cured) or to submit a rebuttal.
- (d) If the chief of police revokes the Permit, the chief of police shall send written notice of revocation to the Permittee within ten (10) business days which sets forth the basis of the revocation, and a statement informing the Permittee of the right to appeal a revocation.
- (e) If the chief of police denies the issuance of a Permit or revokes a Permit, the action is final unless the Applicant or Permittee files a written appeal to the city manager within ten (10) business days of delivery of the notice of revocation or denial. Failure to file an appeal in accordance with this section is a waiver of appeal, and the chief of police's decision shall be final.

- (f) After receipt of notice of revocation, the Permittee shall, on or before the date specified in the notice, discontinue engaging in solicitation in the City and surrender the Permit and any Identification Cards to the chief of police. If the revocation has been appealed, the revocation is stayed pending the City Manager's decision.

Sec. 15-10. - Appeal.

Should an Applicant be denied a permit or a Permittee have a permit revoked, the Applicant or Permittee may appeal the action to the city manager by submitting a letter to the city secretary within ten (10) business days of the denial or revocation. The appeal shall set forth the reasons that the denial or revocation is in error in detail and provide a contact name and telephone number of a person to whom the City Manager may speak regarding the appeal. If a meeting can be arranged, the person may be heard by the City Manager in a face-to-face meeting. If a face-to-face meeting cannot be arranged, the person may be heard telephonically. Cooperation of the appellant is required and inability to reach the contact person will not extend the time before a decision will be made. The City Manager will make a decision within fifteen (15) days of receiving the appeal.

Sec. 15-11. - Additional requirements for solicitation on private premises.

- (a) It shall be unlawful to engage in solicitation on a private premises or to go upon the private premises and ring the doorbell, rap, or knock upon the door, or create any sound in a manner calculated to attract the attention of the occupant for the purpose of engaging in solicitation between thirty (30) minutes after sunset and 9:00 a.m. of the following day;
- (b) Subsection (a) does not apply where the solicitor is on the private premises by express, prior invitation of the owner of the property or a person residing on the premises or when the person is personally known to the occupants of the property;
- (c) It shall be unlawful for any person to solicit without visibly displaying a City-issued identification card;
- (d) It shall be unlawful for a person engaged in solicitation to remain on a private-premises after the owner or occupant has requested that person to leave;
- (e) It shall be unlawful for a person to return to a private-premises to solicit when the person has already attempted to solicit at the location and has been told by the owner or occupant that they are not interested;
- (f) As further set forth below, it shall be unlawful to solicit at a private premises where there is posted a sign or placard communicating that the owner or occupant does not want to be solicited, such as "No Solicitors", "No Solicitation", or which otherwise purports to indicate that solicitation is unwelcome, unless the person has been invited upon the premises by the owner or occupant of the premises.

Sec. 15-12. - Supervision of child solicitors.

It shall be unlawful for any person to use children sixteen (16) years of age or younger for solicitation of funds unless said children are actively supervised by an adult person at least twenty-one (21) years of age. There will be a presumption that a child is not actively supervised if the supervising adult is more than fifty (50) feet away from the child or if there are five or more children for each adult.

Sec. 15-13. - Handbills.

- (a) It shall be unlawful for any person to distribute, deposit, place, throw, scatter, or cast, or cause to be distributed, deposited, placed, thrown, scattered, or cast any handbill upon any private premises except by placing or depositing the handbills in a manner to secure and to prevent the handbills from being blown or drifting about such premises, sidewalks, streets, or other public places, except that mailboxes may not be used when prohibited by federal postal laws or regulations for handling or transmitting such and except when a handbill is delivered directly to the owner, occupant, or any other person then present in or upon such private premises and who is willing to accept it;
- (b) It shall be unlawful for any person to distribute, deposit, place, throw, scatter, or cast, or cause to be distributed, deposited, placed, thrown, scattered, or cast any handbill upon private premises if requested by anyone at that location not to do so, or if there is a sign on the property prohibiting it;
- (c) It shall be unlawful for any person to distribute, deposit, place, throw, scatter, or cast, or cause to be distributed, deposited, placed, thrown, scattered, or cast any handbill upon any private premises which are uninhabited or vacant;
- (d) It shall be unlawful for any person to post or otherwise affix or attach any handbill, poster, or other device which is calculated to attract the attention of the public upon any structure, wall, or part thereof without the consent of the owner, agent, or occupant of the structure;
- (e) There shall be a rebuttable presumption that any person whose goods, services, or activities are promoted in the handbill in violation of this section is a person who distributed or caused to be distributed the handbill;
- (f) This section does not apply to a federal, state, county, or local government or public utility employee in the performance of their duties for their employer.

Sec. 15-14. - Solicitation and handbill placement forbidden if sign posted.

It shall be unlawful for any person to engage in solicitation or to place handbills at a private-premises that has a posted sign indicating that the resident does not want such activities at their private premises. Examples of such a sign include, but are not limited to, "No Soliciting," "No Solicitation," "No Trespassing," or "Keep Out." This provision does not apply if the person has been invited upon the premises by the owner or occupant of the premises.

Sec. 15-15. – Violation an Offense.

A violation of a regulation or prohibition under this Chapter is an offense punishable by a fine not to exceed \$500.00. Each violation is a separate offense. Each day of a continuing violation is a separate offense.

ARTICLE II [Reserved]

3. Repeal of Conflicting Provisions. That all provisions of the ordinances of the City of Woodway in direct conflict with the provisions of this Ordinance be, and the same are hereby,

repealed, and all other provisions of the ordinances of the City of Woodway not in conflict with the provisions of this Ordinance shall remain in full force and effect.

4. Severability. Should any section, paragraph, sentence, clause, or phrase of this Ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this Ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this Ordinance or its application to other persons or circumstances.

5. Effective Date. This Ordinance shall become effective when the caption of the Ordinance is published in the City's Official Newspaper.

6. Publication. The City Secretary is hereby ordered to publish the caption of this Ordinance in the City's Official Newspaper as soon as possible.

PASSED AND APPROVED this the 10th day of August, 2020 at a regular meeting of the City Council of the City of Woodway, Texas.

CITY OF WOODWAY

BY: _____
Jane Kittner, Mayor

ATTEST:

Donna Barkley, City Secretary

Approved:

Mike Dixon, City Attorney



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Mitch Davison

Approved By: [Signature]

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and consider action on acceptance of Application to Develop in a Planned District (parking lot addition for the First National Bank of Central Texas) Lot 3, Block 8, of the Woodway Center Addition to the City of Woodway, McLennan County, Texas, located at 7500 West Woodway Dr.

Background Information:

Joe Barrow (applicant) submitted an Application to Develop in a Planned District (parking lot addition for the First National Bank of Central Texas) Lot 3, Block 8, of the Woodway Center Addition to the City of Woodway, McLennan County, Texas, located at 7500 West Woodway Dr.

City staff has requested that the applicant be present to answer any questions from the City Council.

This item is for acceptance only of the application. If accepted, the application is scheduled to be presented to the Planning and Zoning on August 11th and to the City Council on August 24th for the two required public hearings and action.

Financial Impact:

Total of proposed expenditure: N/A

Amount budgeted:

Account number:

If not budgeted, other funding options:

Staff Recommendation:

Accept the Application to Develop in a Planned District (parking lot addition for the First National Bank of Central Texas) Lot 3, Block 8, of the Woodway Center Addition to the City of Woodway, McLennan County, Texas, located at 7500 West Woodway Dr.



APPLICATION TO DEVELOP IN A PLANNED DISTRICT

This application is pursuant to Section 2.2 of the City of Woodway Code of Ordinances, Appendix A-Zoning. All applicants are encouraged to review this section and discuss the request with the Director of Community Services prior to submittal of application.

NOTE: Application must be submitted with a FEE OF \$300.00 and RECEIVED AT LEAST 25 DAYS in advance of the first public hearing by mail or in person to: Community Services, City of Woodway, 924 Estates Drive, Woodway, Texas, 76712. Applications submitted on the 25th day before the first hearing date must be received by 3 p.m. to allow staff sufficient time to meet newspaper deadlines and mail notices as required by law.

PART I – TO BE COMPLETED BY APPLICANT

(1) PERSON, FIRM OR CORPORATION DESIRING TO ERECT/MODIFY BUILDING(S) OR GROUNDS WITHIN A PLANNED DISTRICT:

The First National Bank of Central Texas

(2) APPLICANT INFORMATION:

Mailing Address: 7500 West Woodway Dr. 76712

Telephone: () 761-6001 Fax: () _____

Email: Joe.Barrow@FNBCT.Bank

If firm or corporation, name of contact person: Joe Barrow
(This individual will be contacted by City Staff on all matters regarding this application.)

(3) PROPERTY DESCRIPTION:

Lot: 3 Block: 8

Name of Addition: Woodway Center

PLEASE PROVIDE ACREAGE DESCRIPTION IF NOT PLATTED INTO A LOT AND BLOCK:

.529 ACRE(S) IN THE Woodway Center Addition SURVEY
(If property is not platted, an acreage description a.k.a. field notes must be provided with the application as the wording must be included in the public hearing notice as required by law.)

Physical Address of Property:

7500 WEST WOODWAY DR., WOODWAY, TX. 76712

Brief Description of Property:

VACANT LAND PURCHASED BY BANK FOR ADDITIONAL PARKING.

(4) IS THIS YOUR ORIGINAL REQUEST TO DEVELOP ON THIS SITE? YES or NO

(5) APPLICATION MUST BE SUBMITTED WITH (2) COPIES OF THE SITE PLAN SHOWING THE FOLLOWING ITEMS AND MUST INCLUDE THE ENTIRE PARCEL OF PROPERTY UPON WHICH THE APPLICANT DESIRES TO DEVELOP:

- | | |
|--|---|
| <input type="checkbox"/> In detail, the manner in which the land is to be used | <input type="checkbox"/> Elevations |
| <input type="checkbox"/> Provision for service areas | <input type="checkbox"/> Floor Plan |
| <input type="checkbox"/> Provision for landscaping | <input type="checkbox"/> Size of the building(s) |
| <input checked="" type="checkbox"/> Provision for off-street parking | <input type="checkbox"/> Location of the building(s) |
| <input type="checkbox"/> Character & appearance of the Building(s) | <input checked="" type="checkbox"/> 11x17 copies of plans |

(For more detail, please see the attached City of Woodway Ordinances Sec. 2.10: Site Development Plans)

SIGNATURE OF APPLICANT:

Joe Hanew, ELP

By signing above, the applicant affirms that the information submitted is true and correct and affirms that the owner (if the applicant is not the owner of the property) has been made aware of this request and fully supports the proposed development.)

NOTE:

IT IS IMPERATIVE THAT THE APPLICANT OR AN INFORMED REPRESENTATIVE OF THE APPLICANT BE PRESENT AT THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL MEETINGS TO EXPLAIN THE PLANS IN DETAIL AND ANSWER ANY QUESTIONS.

PART II – THIS SECTION TO BE FILLED OUT BY CITY OF WOODWAY STAFF

TENTATIVE schedule for Planning & Zoning Commission and City Council

Acceptance of application by City Council	8/10/20
Action by P&Z regarding recommendation to City Council	8/11/20
Final action by City Council	8/24/20

Application received by	AN
\$300.00 application fee paid	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Forward for review processing to	Cory
Schedule dates provided to	Jan
Information provided by	AN

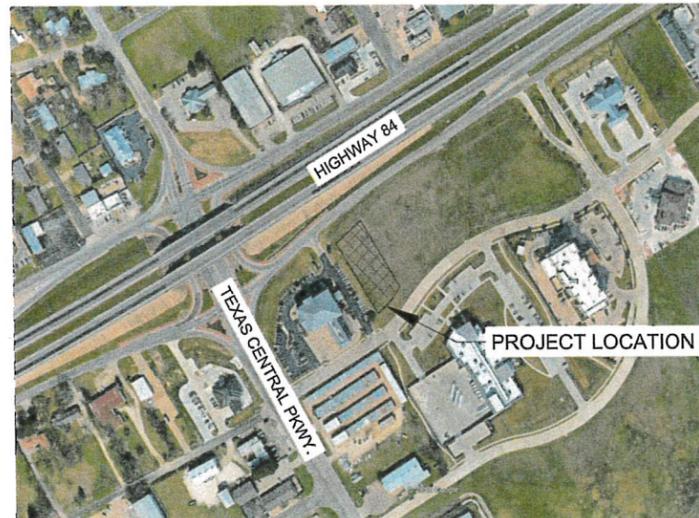
SITE PLANS FOR A PARKING LOT ADDITION FOR THE FIRST NATIONAL BANK OF CENTRAL TEXAS WOODWAY, TEXAS

RECEIVED
JUL 31 2020
11:20am

PROJECT DESCRIPTION
SITE PLANS FOR A PARKING LOT ADDITION TO THE FIRST NATIONAL BANK OF CENTRAL TEXAS IN WOODWAY, TX.

CONTACT INFORMATION
OWNER: THE FIRST NATIONAL BANK OF CENTRAL TEXAS ENGINEER: CENTEX ENGINEERS, LLC EDWARD (JED) D. SULAK, JR., P.E., CFM 1600 LAKE AIR DRIVE, STE. 12B WACO, TEXAS 76710 OFFICE: 254-870-3500

PROJECT REVIEW
REVIEW AND APPROVAL IS BASED ON A CURSORY REVIEW OF THE CONSTRUCTION PLANS. THIS SIGNATURE DOES NOT RELIEVE THE ENGINEER FROM COMPLYING WITH ALL APPLICABLE CITY CODES AND ORDINANCES.
_____ CITY OF WOODWAY



PROJECT VICINITY MAP

CENTEX ENGINEERS, LLC TEXAS REGISTERED ENGINEERING FIRM F-20801

SHEET INDEX

1. SITE PLAN
2. DEMOLITION PLAN
3. EROSION CONTROL PLAN
4. GRADING PLAN
5. DIMENSION CONTROL PLAN
6. DRAINAGE AREA MAP
7. DETAILS

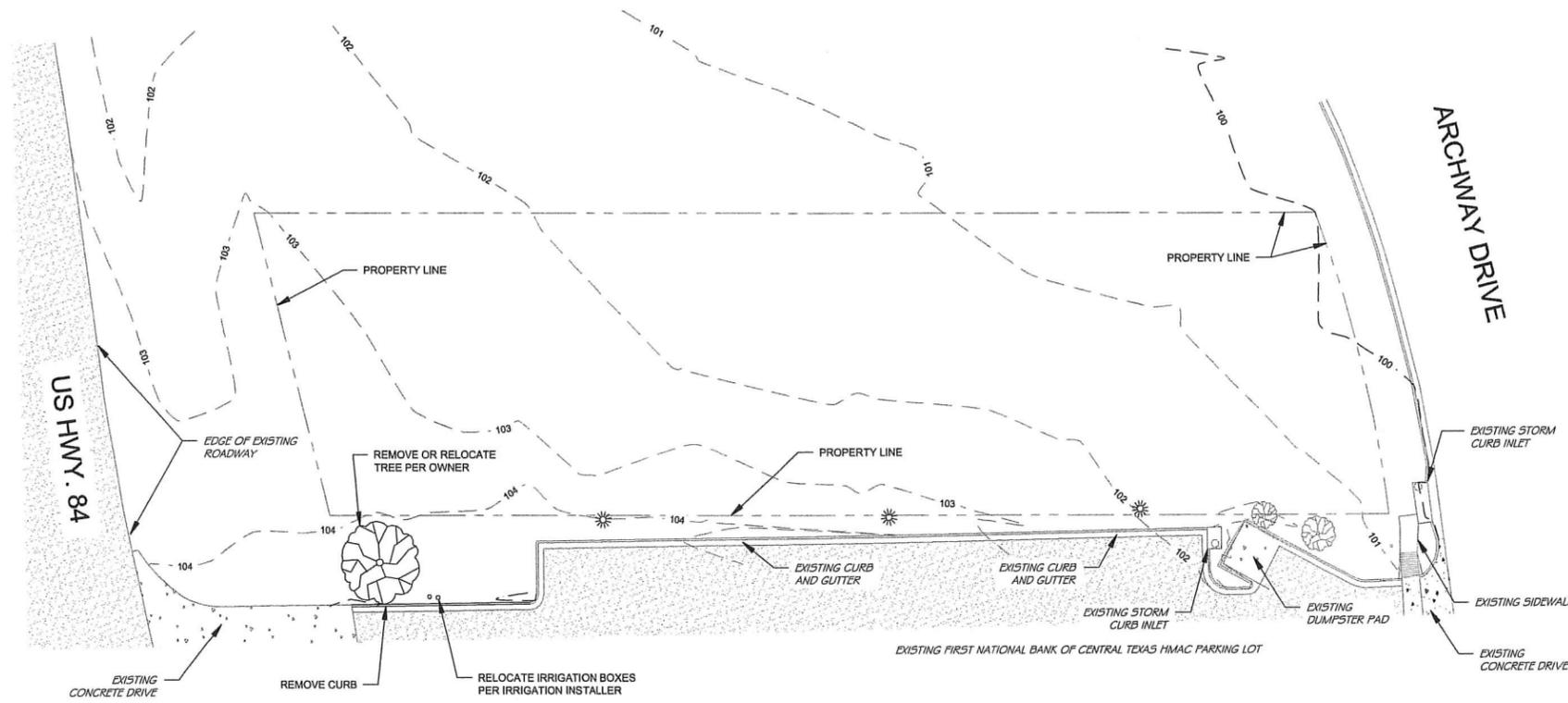
REVISION SUMMARY:		
REV.	DATE:	REMARKS:



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY EDWARD D. SULAK, JR., P.E. #85602 ON THE DATE SHOWN ON THE DATE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

07-24-2020
DATE

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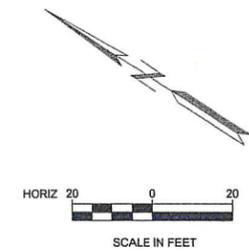


SITE DEMOLITION NOTES:

1. INFORMATION GIVEN WAS TAKEN FROM TOPOGRAPHICAL SURVEY PROVIDED BY THE SURVEYOR. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES, CONFLICTS OR OTHER UNSATISFACTORY CONDITIONS TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CALL TEXAS ONE CALL (1-800-344-8377) BY LAW TO LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO THE START OF THEIR WORK.
3. CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENT CONTROLS DURING THE ENTIRE COURSE OF WORK AS DETAILED ON THE STORM WATER POLLUTION PREVENTION PLANS, AND IN ACCORDANCE WITH THE STATE STORM WATER POLLUTION PREVENTION REQUIREMENTS.
4. ALL MATERIALS TO BE DEMOLISHED SHALL BE RECYCLES OR SALVAGED ACCORDING TO THE CONTRACTOR'S WASTE MANAGEMENT PLAN. ALL OTHER MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF OFF SITE IN A LEGAL LANDFILL. CONTRACTOR IS NOT ALLOWED TO STOCKPILE NON-RECYCLED OR NON-SALVAGED DEMOLITION MATERIALS ON SITE. ALL MATERIALS SHALL BE REMOVED IN A TIMELY FASHION.
5. WITHIN THE LIMITS OF WORK AND VICINITY OF CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FENCING AROUND TREES TO REMAIN AND PROTECT SAID TREES DURING CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ASSOCIATED UTILITY COMPANY AND COORDINATING ANY REQUIRED DISCONNECTS AND/OR CONNECTIONS TO EXISTING UTILITIES.
7. FINAL SITE CLEARING - THE SITE SHALL BE CLEAR OF ALL DEBRIS, DEMOLITION RELATED AND NON-RELATED (SITE TRASH).

UNDERGROUND UTILITIES NOTE:

CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND REGARDLESS OF INCLUSION ON THESE PLANS THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.



LEGEND

— W —	EXISTING WATERLINE	⊙	EXISTING TREE	←	EXISTING GUY WIRE
— SS —	EXISTING SANITARY SEWER	⊙	EXISTING SANITARY SEWER MANHOLE	⊞	EXISTING ELECTRICAL BOX
— ○ —	EXISTING CHAIN LINK FENCING	⊙	EXISTING STREET SIGN	☀	EXISTING LIGHTING
— ○ —	EXISTING WOOD FENCING	⊙	EXISTING WATER VALVE	⚡	EXISTING POWER POLE
— x —	EXISTING BARBED WIRE FENCING	⊙	EXISTING WATER METER		
- - - OHE - - -	EXISTING OVERHEAD ELECTRIC LINE	⊙	EXISTING GAS METER		
- - - 480 - - -	EXISTING CONTOUR				

REV.	DATE	DESCRIPTION	PROJECT: 1027 DESIGNED: CDS DRAWN: CDS CHECKED: EDS		"THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY EDWARD D. SULAK, JR., P.E. #85602 ON THE DATE SHOWN ON THE DATE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT" 07-30-2020 DATE NAME	CENTEX ENGINEERS, LLC TEXAS REGISTERED ENGINEERING FIRM F-20801	THE FIRST NATIONAL BANK OF CENTRAL TEXAS PARKING LOT ADDITION <h2 style="text-align: center;">DEMOLITION PLAN</h2>	SHEET NO. <h1 style="text-align: center;">C2.0</h1>

CONTRACTOR RESPONSIBILITY NOTES:

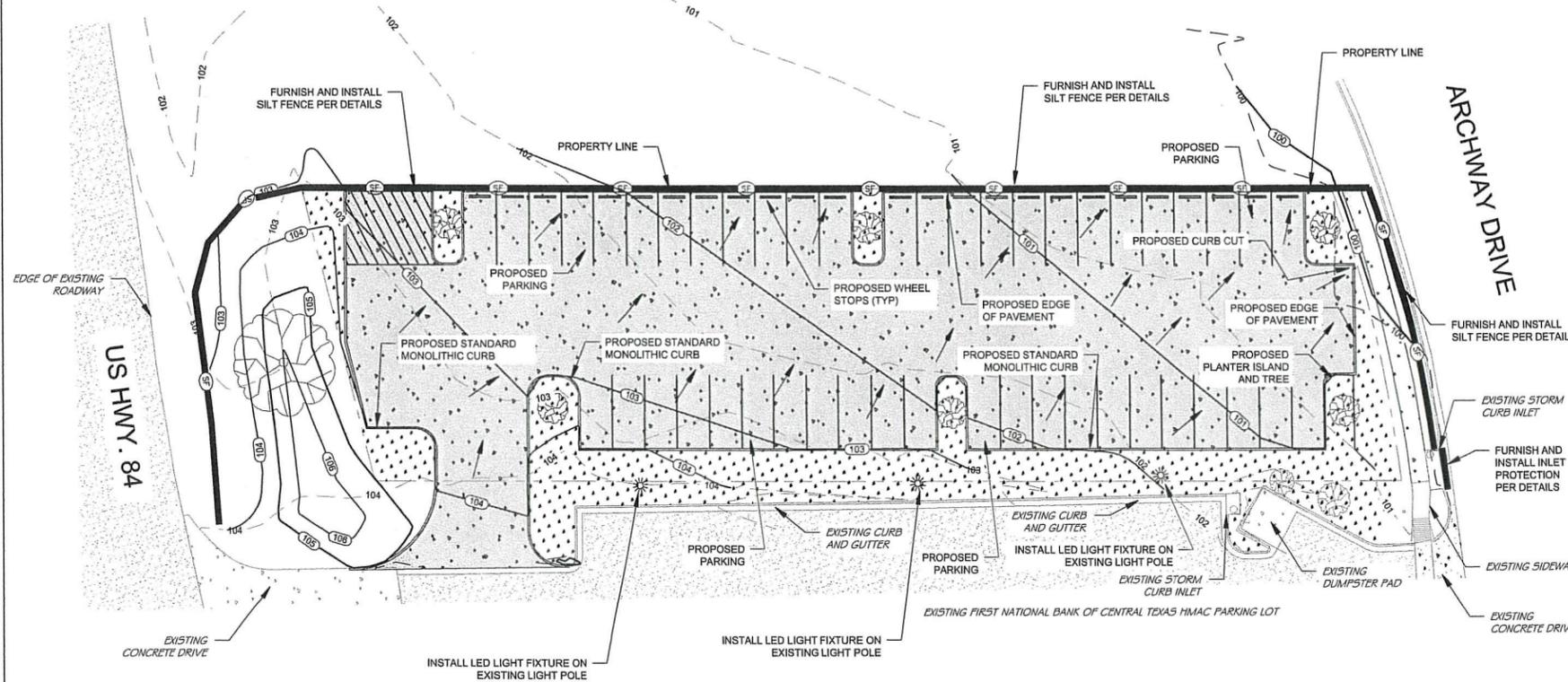
1. THE PROPOSED WORK ITEMS SHOWN ON THESE PLANS DOES NOT NECESSARILY DEPICT ANY AND ALL ITEMS THAT MAY BE REQUIRED TO IMPLEMENT A FINAL BEST MANAGEMENT PRACTICES STORM WATER POLLUTION PREVENTION PLAN. THESE WORK ITEMS DO NOT RELIEVE THE CONTRACTOR OF ENSURING THAT ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR STORM WATER POLLUTION PREVENTION, WATER QUALITY AND ILLEGAL POINT SOURCE DISCHARGE ARE STRICTLY ADHERED TO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ACTIONS THAT ARE NECESSARY TO BE IN COMPLIANCE WITH ALL OF THESE REGULATIONS. THE CONTRACTOR SHALL BEAR ALL EXPENSES RELATED TO IMPLEMENTING THESE MEASURES AND A PROPER BEST MANAGEMENT PRACTICES STORM WATER POLLUTION PREVENTION PLAN IRRESPECTIVE OF WHETHER A REQUIRED FACILITY, STRUCTURE, FENCING, SEEDING, MATS, ETC. ARE SHOWN ON THESE PLANS.
2. THE CONTRACTOR SHALL CARE AND BE RESPONSIBLE FOR READING AND IMPLEMENTING ALL NOTES SHOWN ON THIS SHEET. THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY REQUIREMENTS SET FORTH AS PART OF NOTES SHOWN ON THIS SHEET OR ANY ADDITIONAL COSTS THAT MAY BE INCURRED FOR FAILURE TO READ SAID NOTES.

LEGEND



EROSION CONTROL NOTES:

1. STOCKPILE TOPSOIL REMOVED FROM ROADWAY AREAS FOR USE LATER IN PLANTING PERMANENT GRASS ON ALL DISTURBED AREAS NOT USED AS PAVED ROADS, BUILDINGS ETC. CONTRACTOR SHALL PERFORM STOCKPILE PROTECTION AS REQUIRED TO PREVENT EROSION AND LOOSE DIRT FROM BEING WASHED FROM THE STOCKPILE.
2. CONTRACTOR SHALL STAGE, TIME AND SEQUENCE CONSTRUCTION TO MINIMIZE THE SIZE OF EXPOSED SOIL AREAS AND THE TIME BETWEEN EXPOSING THE SOIL AREA AND FINISHING THE SOIL AREA.
3. AS SOON AS GRADING IS COMPLETE IN AN AREA, THE CONTRACTOR SHALL STABILIZE THE SOIL. FOR LONG, NARROW AREAS OR STEEP GRADES (GREATER THAN 3 TO 1), THE CONTRACTOR SHALL STABILIZE CONTINUOUSLY DURING GRADING OPERATIONS. ROUGH GRADED AREAS SHOULD BE STABILIZED WITH TEMPORARY EROSION CONTROL. IF FINAL GRADING AND STABILIZATION WILL NOT BE PERFORMED WITHIN FIVE (5) DAYS, FAILURE TO STABILIZE IN A TIMELY MANNER AFTER GRADING MAY BE CONSIDERED A VIOLATION OF PERMITS OBTAINED FOR SAID ACTIVITY AND MAY BE SUBJECT TO CORRECTIVE ACTION BY THE LOCAL, STATE OR FEDERAL GOVERNING AUTHORITY.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING A TASK TO PROVIDE EROSION CONTROL UNLESS ANOTHER PARTY HAS BEEN PREVIOUSLY SPECIFIED AS RESPONSIBLE FOR THE EROSION CONTROL ASSOCIATED WITH THAT TASK IN THE EVENT ANOTHER PARTY IS RESPONSIBLE FOR EROSION CONTROL, THE CONTRACTOR SHALL STILL BE RESPONSIBLE FOR COORDINATION WITH THE PARTY RESPONSIBLE. IN THE EVENT THAT DAMAGE TO THE CONSTRUCTED ITEMS RESULTS DUE TO LACK OF EROSION CONTROL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF SAID EROSION CONTROL ITEMS AT NO CHARGE TO THE OWNER.
5. TEMPORARY EROSION CONTROL SHALL CONSIST OF TEMPORARY GRASS, TEMPORARY MULCH, TEMPORARY SOD, ARTIFICIAL COVERINGS, BALED HAY OR STRAW, SILT FENCES AND TURBIDITY BARRIERS AS SHOWN ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES MANUAL FROM THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY, LATEST EDITION.
6. PERMANENT EROSION CONTROL SHALL CONSIST OF SEED, SEED AND MULCH, HYDRO-SEEDING, SOD AND/OR ARTIFICIAL COVERINGS AS SHOWN ON THE CONSTRUCTION PLANS AND IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES MANUAL FROM THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY, LATEST EDITION.
7. TEMPORARY EROSION CONTROL BY ARTIFICIAL COVERINGS SHALL CONSIST OF STRAW BLANKETS, COCONUT FIBER BLANKETS, POLYESTER BLANKETS, JUTE MESH AND DRAINAGE FABRICS. MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. SEEDING SHALL BE INCLUDED IF MATERIAL REQUIRES VEGETATION TO FUNCTION PROPERLY.
8. THE CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES, SILT FENCE, TURBIDITY BARRIER OR AS SPECIFIED IN THE CONSTRUCTION DRAWINGS) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS AND WETLAND OR JURISDICTIONAL AREAS. IF, IN THE OPINION OF THE ENGINEER AND/OR REGULATORY AUTHORITIES, EXCESSIVE QUANTITIES OF MATERIAL ARE TRANSPORTED OFF-SITE BY EROSION OR STORM WATER RUNOFF, THE CONTRACTOR SHALL IMPROVE CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND/OR LOCAL, STATE OR FEDERAL GOVERNING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER. IN NO CASE SHALL CONSTRUCTION COMMENCE PRIOR TO INSTALLATION OF EROSION CONTROL/SEDIMENTATION BARRIER.
9. PLACE STONE CHECK DAMS IN ALL NATURAL OR CREATED DRAINAGE WAYS WHERE PIPES DISCHARGE WATER TO TRAP SEDIMENT ON SITE AND DO NOT ALLOW IT TO GO ONTO ADJACENT PROPERTY. ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE INSTALLED BY A METHOD ACCEPTABLE TO THE ENGINEER AND/OR TO THE LOCAL, STATE OR FEDERAL GOVERNING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER.
10. SEED ALL SWALES AND DITCHES TO SOME TYPE OF PERMANENT GRASS WHERE SLOPE OF LAND DOES NOT EXCEED 2%.
11. IF SUB-SURFACE WATER IS ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY. INSTALLATION OF FRENCH DRAINS SHALL BE UNDER THE SUPERVISION OF A SOILS LABORATORY.
12. ALL SEDIMENT AND EROSION CONTROL STRUCTURES, INCLUDING BASINS, GRAVEL FILTERS, SILT FENCE AND TRAPS SHALL BE INSPECTED EVERY 7 DAYS AND AFTER ALL RAINFALLS IN EXCESS OF 0.5". AN INSPECTION REPORT SHALL BE MADE ON EACH OCCASION, NOTING CONDITION OF ALL STRUCTURES AND OUTLINING ANY REQUIRED MAINTENANCE. ALL STRUCTURES SHALL BE CLEANED AND RE-ESTABLISHED WHEN SEDIMENT REACHES 50% OF STORAGE CAPACITY.
13. THE CONTRACTOR SHALL BE FAMILIAR WITH, AND KNOWLEDGEABLE OF, ALL FEDERAL, STATE AND LOCAL CODES, REQUIREMENTS, REGULATIONS AND SPECIFICATIONS REGARDING THE CONSTRUCTION OF THIS PROJECT. ALL MATERIALS, WORKMANSHIP, INSTALLATION AND RESTORATION SHALL MEET OR EXCEED MINIMUM REQUIREMENTS. LACK OF DETAILS ON THE PLANS OR ABSENCE OF SPECIFIC INFORMATION SHALL NOT RELIEVE THE CONTRACTOR OF COMPLYING WITH ALL APPLICABLE CODES, REQUIREMENTS AND SPECIFICATIONS.
14. PROVIDE A TEMPORARY STONE SPLASH PAD AT ALL FIRE HYDRANTS OR OTHER POINTS OF DISCHARGE DURING TESTING OF THE WATER DISTRIBUTION SYSTEM.
15. PROVIDE SILT FENCE OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING ALL UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY CONSTRUCTION.
16. CUT OR FILL SLOPES WHICH EXCEED (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDRO-SEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION ACTIVITIES. TEMPORARY BERMS MAY BE NEEDED DAILY UNTIL THE SLOPE IS BROUGHT TO GRADE.
17. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. ANY ADDITIONAL TEMPORARY CONTROL DEVICES THAT MAY BE REQUIRED SHALL BE PROVIDED AS PART OF THIS PROJECT AT NO ADDITIONAL COST TO THE OWNER.
18. THE PROPOSED WORK ITEMS SHOWN ON THESE PLANS DOES NOT RELIEVE THE CONTRACTOR OF ENSURING THAT ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR STORM WATER POLLUTION PREVENTION, WATER QUALITY AND ILLEGAL POINT SOURCE DISCHARGE ARE STRICTLY ADHERED TO. ANY AND ALL ACTION NECESSARY TO BE IN COMPLIANCE WITH ALL REGULATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



SEQUENCING OF SITE WORK AND RELATED EROSION CONTROL DEVICES:

THE CONSTRUCTION PHASE SHOULD BE DIVIDED INTO THREE PHASES OF BEST MANAGEMENT PRACTICES IMPLEMENTATION (BMP). THE FOLLOWING IS A SUGGESTED PHASING PROCESS THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE CONSTRUCTION PLANS, TEXAS COMMISSION ON ENVIRONMENTAL QUALITY BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION AND ANY OTHER INFORMATION THAT MAY BE RELEVANT TO THE IMPLEMENTATION AND PREPARATION OF A STORM WATER POLLUTION PREVENTION PLAN BEST SUITED FOR THIS PROJECT.

PHASE I: START UP AND PERIMETER CONTROLS

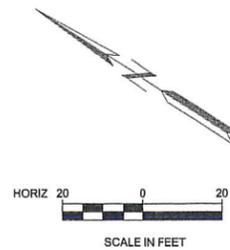
CONTRACTOR SHALL POST ALL SITE AND STORM WATER CONTROL PERMITS AS REQUIRED BY EACH INDIVIDUAL PERMIT.
 CONTRACTOR SHALL INSTALL PERIMETER CONTROLS. PREFERABLY, THESE SHOULD BE INSTALLED AFTER CLEARING AND PRIOR TO ANY GRUBBING OF THE SITE. FOR LARGER AREAS, CLEARING OF AN AREA THE WIDTH OF A BULLDOZER AND INSTALLING THE PERIMETER CONTROLS SHOULD BE PERFORMED PRIOR TO CLEARING THE INTERIOR PORTIONS OF THE SITE.
 HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST ONE (1) WEEK PRIOR TO STARTING CONSTRUCTION AND PERFORM WEEKLY REVIEWS OF THE EROSION SEDIMENT AND STORM WATER CONTROL PLAN.
 REMOVE VEGETATION, UNDERGROWTH AND TOP SIX (6) INCHES OF ORGANIC MATERIAL FROM THE SITE AND STOCKPILE TOPSOIL. CONTRACTOR SHALL PERFORM STOCKPILE PROTECTION AS REQUIRED TO PREVENT LOOSE DIRT FROM BEING WASHED FROM THE STOCKPILE.
 PLACE TEMPORARY SANITARY FACILITIES AND DUMPSTERS.

PHASE II: INTERMEDIATE CONTROLS

INTERMEDIATE CONTROLS ARE IMPLEMENTED FROM GRUBBING TO FINAL GRADE. THIS INCLUDES INSTALLATION OF SUBSURFACE DRAINAGE, INLETS AND UTILITIES AND BRINGING THE SITE TO FINAL GRADE. DURING THIS PHASE, THE EXTENT AND DURATION OF EXPOSURE OF UN-STABILIZED AREAS IS GREATEST, THE CONTRACTOR SHALL TAKE ANY ADDITIONAL MEASURES REQUIRED TO PREVENT ADDITIONAL STORM WATER OR SEDIMENTATION RUNOFF AT NO ADDITIONAL COST TO THE OWNER.

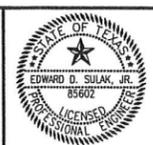
PHASE III: FINAL CONTROLS

THESE CONTROLS ARE IMPLEMENTED TO ACHIEVE FINAL STABILIZATION OF THE SITE. THE CONSTRUCTION OF HARD SURFACES AND FINAL PAVEMENT, STRUCTURES AND UTILITIES ARE INSTALLED. THIS PHASE ESTABLISHES THE PERMANENT VEGETATION, RETENTION/DETENTION PONDS FACILITIES AND THE INSTALLATION OF ANY OUTLET PROTECTIONS, ENERGY DISSIPATORS ROCK CHECK DAMS, ETC. AT FINAL STABILIZATION, USEPA (1992) GUIDELINES STATES THAT PERMANENT VEGETATION MUST BE UNIFORMLY ESTABLISHED ON AT LEAST 70 PERCENT OF SOIL SURFACES NOT COVERED WITH EROSION-RESISTANT SURFACES (PAVEMENTS, BUILDINGS, ETC.) ALL PERMANENT DRAINAGE IMPROVEMENTS MUST BE INSTALLED AND TESTED TO VERIFY THAT THEY PERFORM AS DESIGNED. THE STORM WATER MANAGEMENT SYSTEM SHOULD BE CHECKED AND CLEANED OF ANY ACCUMULATED SEDIMENTS. TEMPORARY BMP'S NOT REQUIRED AS PART OF THE PERMANENT STABILIZATION OR BMP PLAN SHALL BE REMOVED AND PROPERLY DISPOSED OF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY AND ALL SEDIMENT, DEBRIS, ETC. FROM THE STORM WATER INLETS, PIPE SYSTEMS, RETENTION/DETENTION PONDS, ETC. AS MAY BE REQUIRED TO CREATE A FULLY FUNCTIONAL STORM WATER MANAGEMENT SYSTEM AT NO ADDITIONAL COST TO THE OWNER.



REV.	DATE	DESCRIPTION

PROJECT:	1027
DESIGNED:	CDS
DRAWN:	CDS
CHECKED:	EDS



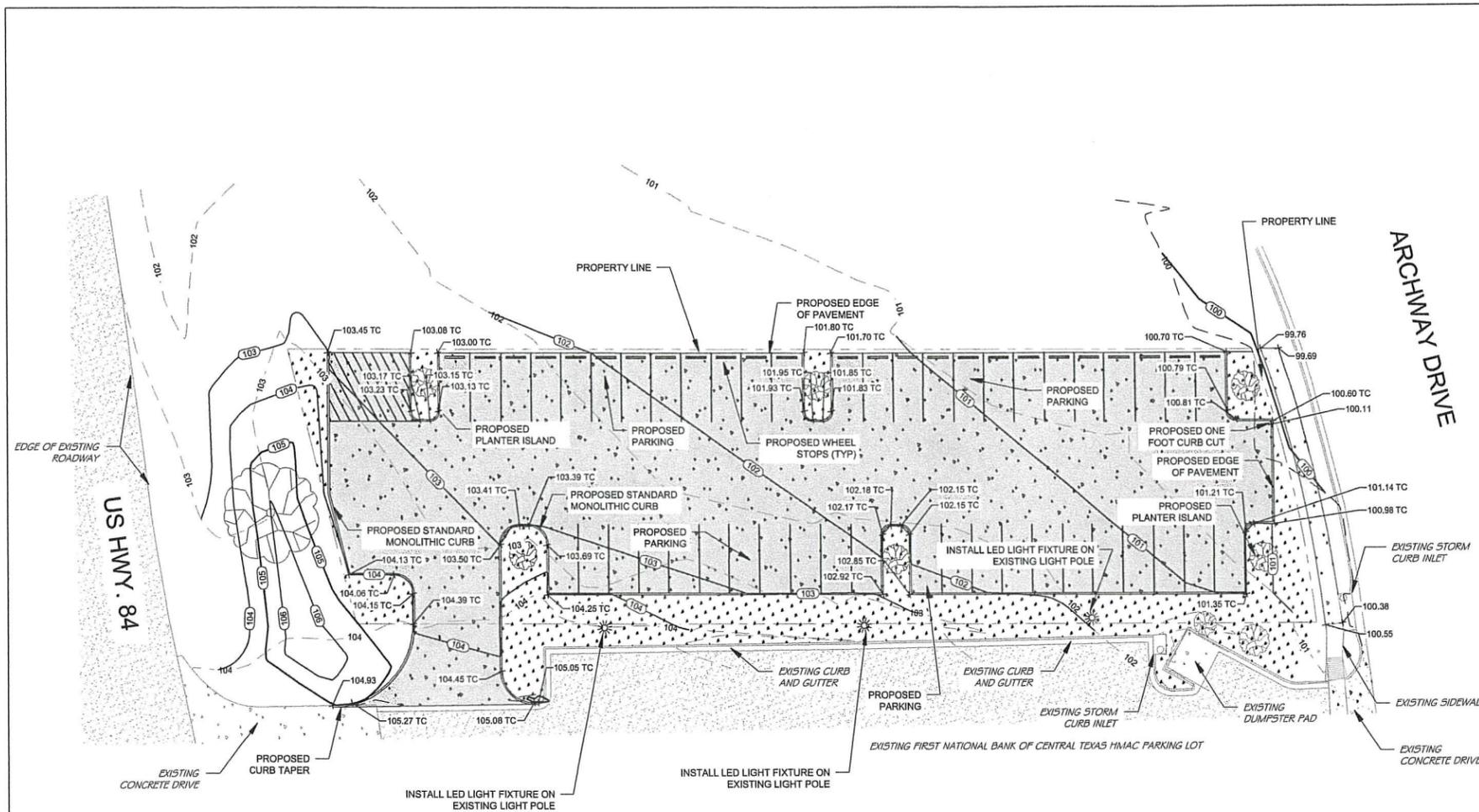
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07-30-2020 DATE
 Ed D. Sulak NAME

CENTEX ENGINEERS, LLC
 TEXAS REGISTERED
 ENGINEERING FIRM
 F-20801

THE FIRST NATIONAL BANK OF CENTRAL TEXAS
 PARKING LOT ADDITION
EROSION CONTROL PLAN

SHEET NO.
C3.0



- GRADING / DRAINAGE NOTES:**
1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A RECENT BOUNDARY AND TOPOGRAPHIC INFORMATION SURVEY PROVIDED BY THE SURVEYOR. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER AND THE ENGINEER OF RECORD FOR REVIEW.
 2. EXISTING CONTOUR INTERVALS SHOWN ARE ONE FOOT (1').
 3. PROPOSED CONTOUR INTERVAL SHOWN ARE ONE FOOT (1').
 4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, ETC., AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 6. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL LOCAL GOVERNING CODES AND SHALL COMPLY WITH SAID CODES.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN THE EXISTING CONDITIONS.
 9. ALL FINISH GRADE ELEVATIONS SHOWN IN ROADWAY/PARKING ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

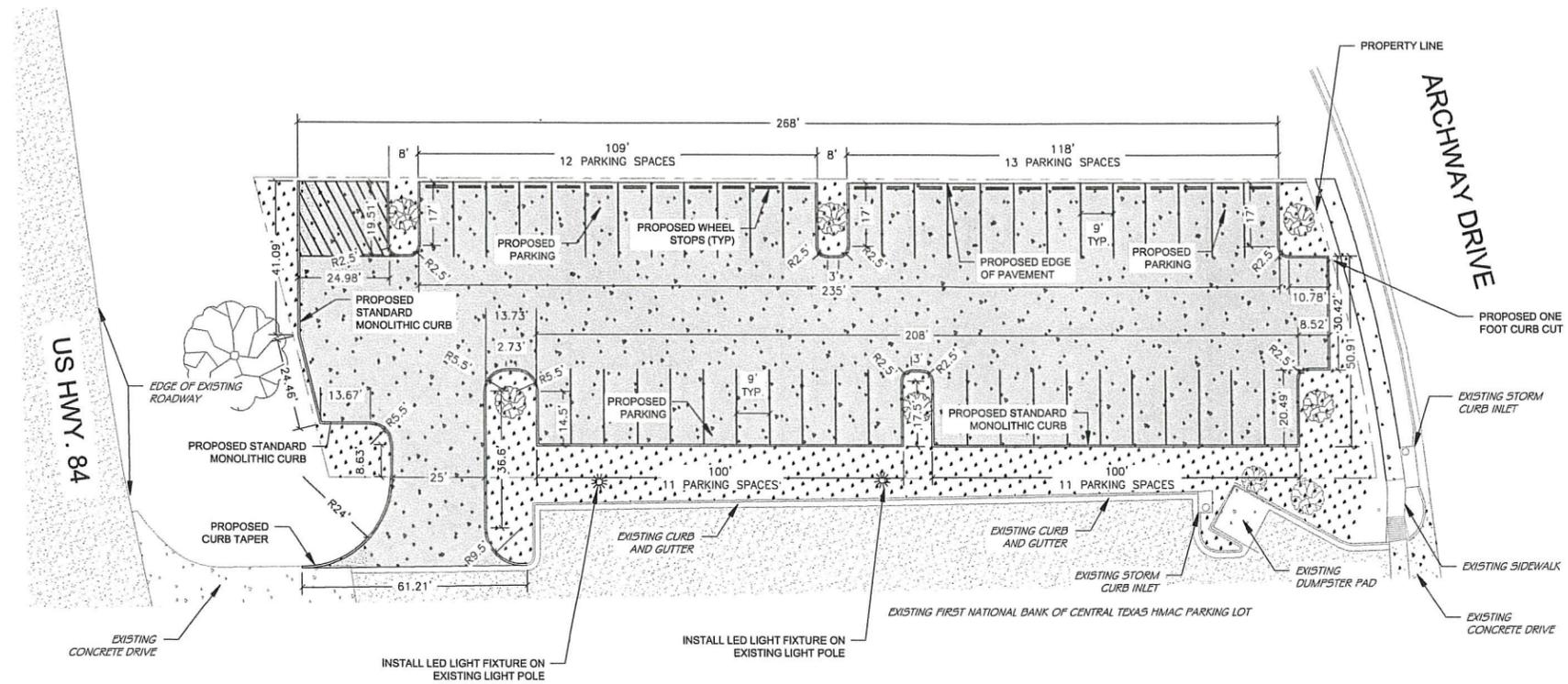
UNDERGROUND UTILITIES NOTE:

CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.

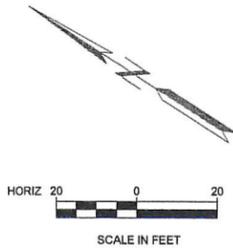
LEGEND

— W —	EXISTING WATERLINE	⊙	EXISTING TREE	←	EXISTING GUY WIRE
— SS —	EXISTING SANITARY SEWER	⊙	EXISTING SANITARY SEWER MANHOLE	⊠	EXISTING ELECTRICAL BOX
— ○ —	EXISTING CHAIN LINK FENCING	⊠	EXISTING STREET SIGN	☀	EXISTING LIGHTING
— x —	EXISTING WOOD FENCING	⊠	EXISTING WATER VALVE	▨	PROPOSED CONCRETE PAVEMENT
— x —	EXISTING BARBED WIRE FENCING	⊠	EXISTING WATER METER	▨	PROPOSED LANDSCAPE
— - - —	EXISTING OVERHEAD ELECTRIC LINE	⊠	EXISTING GAS METER	▨	EXISTING HMAC PAVEMENT
— 480 —	EXISTING CONTOUR	⊠	EXISTING POWER POLE	▨	EXISTING CONCRETE PAVEMENT
— 480 —	PROPOSED CONTOUR				

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REV.	DATE	DESCRIPTION						



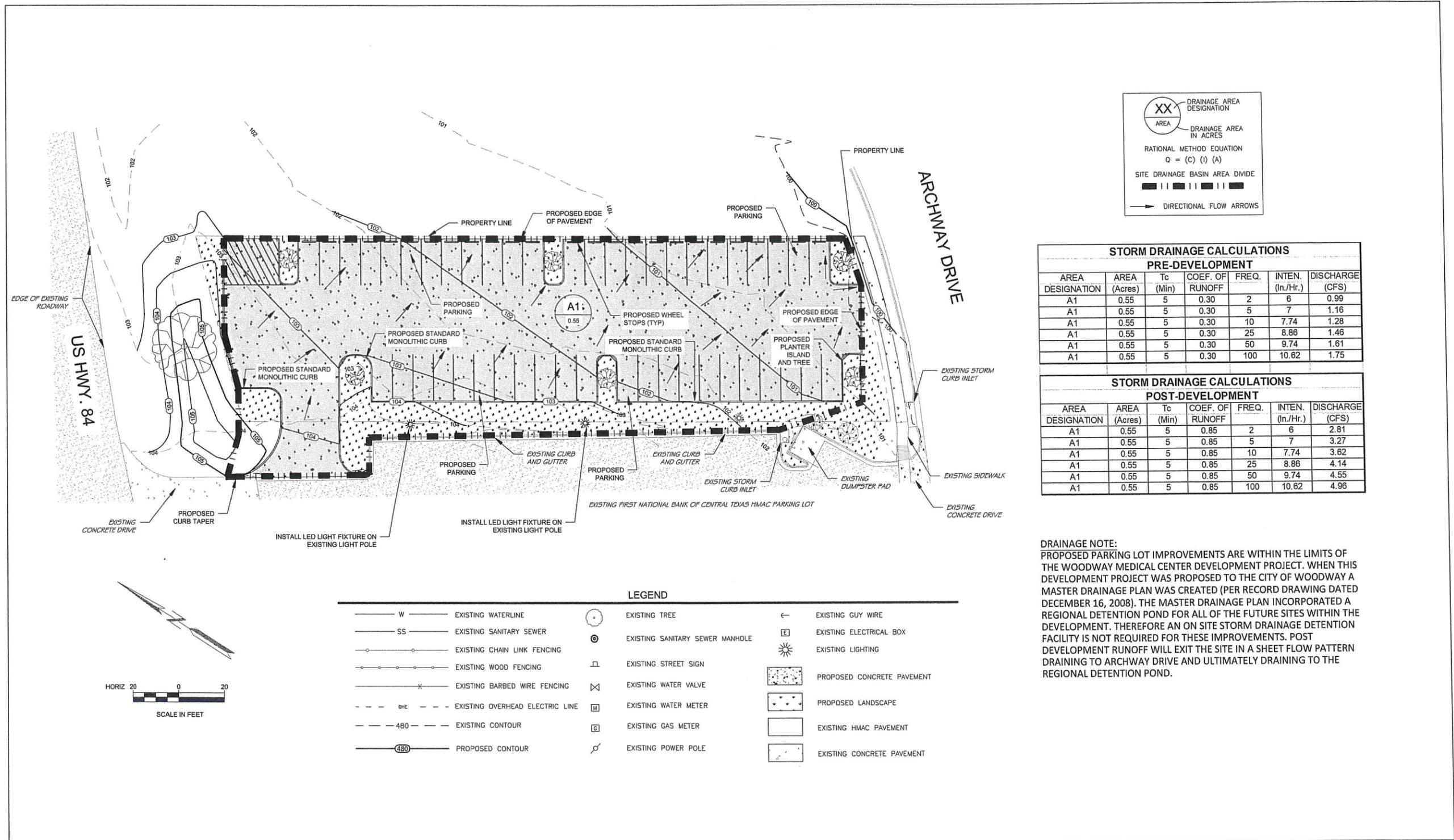
- DIMENSION CONTROL NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AS SHOWN ON THIS PLAN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 2. EXTREME CARE HAS BEEN TAKEN IN DETERMINING LAYOUT DIMENSIONS. CONTRACTOR SHALL ONLY SCALE AREAS IN WHICH NO DIMENSION IS SHOWN. CONTRACTOR SHALL VERIFY SCALE AND CONTACT ENGINEER IF ANY DISCREPANCIES OCCUR. IN NO CASE SHALL CONTRACTOR SCALE THE DRAWING TO OVERRIDE A SHOWN DIMENSION.
 3. DIMENSIONS SHOWN ARE TO EDGE OF CONCRETE AND BACK OF CURB.
 4. CONTRACTOR SHALL CONSULT AND VERIFY ALL BUILDING DIMENSIONS WITH THE BUILDING PLANS AND THE FOUNDATION PLANS. IF ANY DISCREPANCIES ARISE, THE BUILDING PLANS AND/OR THE FOUNDATION PLAN OVERRIDES ANY DIMENSIONS ON THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER IF ANY SAID DISCREPANCIES MAY AFFECT THE LAYOUT OF THE SITE PLAN.



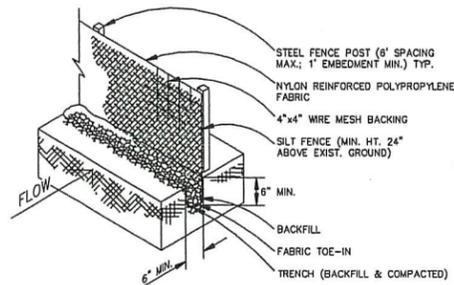
LEGEND

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— SS —	EXISTING SANITARY SEWER	⊙	EXISTING SANITARY SEWER MANHOLE	⊞	EXISTING ELECTRICAL BOX
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— ○ —	EXISTING WOOD FENCING	⊞	EXISTING WATER VALVE	▨	PROPOSED CONCRETE PAVEMENT
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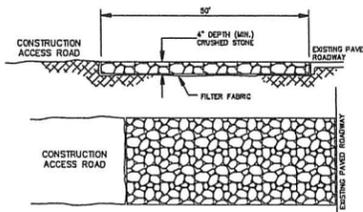


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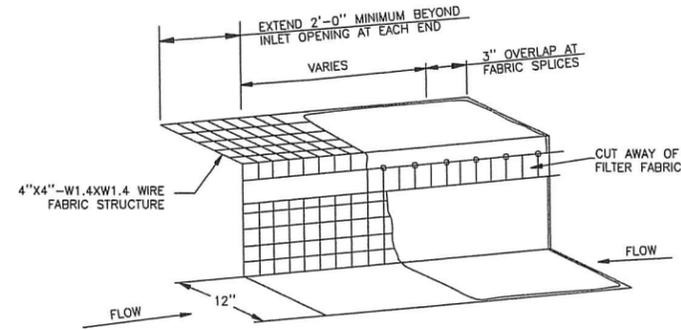
1. SILT FENCE MAY BE USED WHERE THE GROUND SLOPES ACROSS A DITCH OR SWALE.
2. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
3. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF THE FLOW.
4. THE TRENCH MUST BE A MINIMUM OF 6" DEEP AND 6" WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
5. THE SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST. ALTERNATIVELY, SILT FENCE SHALL BE FASTENED TO WOVEN WIRE WHICH IS FASTENED TO THE STEEL POST. THE ENDS OF FABRIC SHALL OVERLAP THREE FEET.
6. INSPECTION SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
7. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO THAT NATURAL DRAINAGE IS NOT BLOCKED OR IMPEDED.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT A SITE APPROVED BY THE OWNER AND IN SUCH A MANNER AS TO PREVENT ADDITIONAL SILTATION.
9. CONTRACTOR TO MAINTAIN SILT FENCING AND ALL OTHER EROSION CONTROL MEASURES AT ALL TIMES DURING THE DURATION OF THE PROJECT.

SILT FENCE
N.T.S.

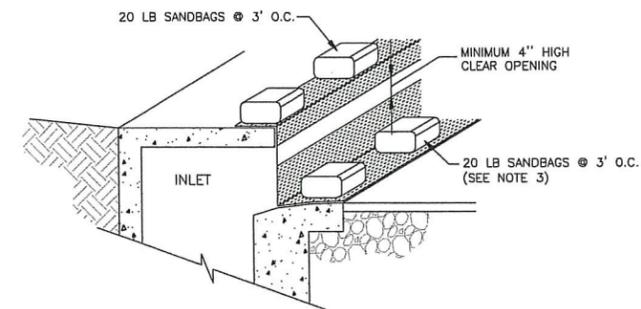


1. A STABILIZED CONSTRUCTION ENTRANCE APPLIES TO POINTS OF CONSTRUCTION INGRESS AND EGRESS WHERE SEDIMENT MAY TRACKED OR FLOW OFF THE CONSTRUCTION SITE.
2. THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

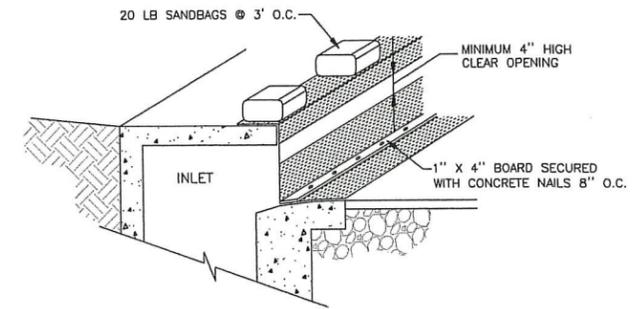
STABILIZED CONSTRUCTION EXIT
N.T.S.



ISOMETRIC VIEW



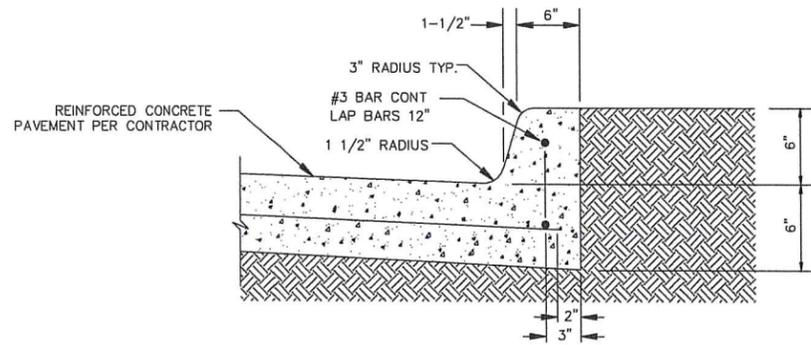
TYPICAL INSTALLATION



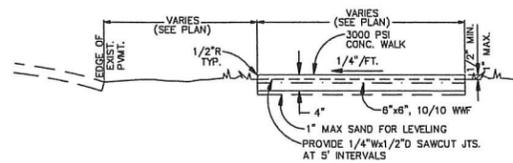
OPTIONAL INSTALLATION (SEE NOTE 3)

NOTES:

1. CONTRACTOR TO SECURE FILTER FABRIC WITH SANDBAGS LOCATED AT A MAXIMUM SPACING OF 3' ON CENTER.
2. A SECTION OF FILTER FABRIC SHALL BE REMOVED AS SHOWN ON THIS DETAIL OR AS DIRECTED BY THE ENGINEER OR DESIGNATED REPRESENTATIVE. FABRIC MUST BE SECURED TO WIRE BACKING WITH CLIPS OR HOG RINGS AT THIS LOCATION.
3. FOR LOCATIONS PRONE TO DAMAGE FROM TRAFFIC THE CONTRACTOR, UPON APPROVAL OF THE ENGINEER OR DESIGNATED REPRESENTATIVE, MAY USE THE OPTION OF SECURING THE FILTER FABRIC WITH A BOARD AND CONCRETE NAILS/RAMSET IN THE CONFIGURATION IDENTIFIED ON THIS DETAIL. UPON REMOVAL, CLEAN ANY DIRT/DEBRIS FROM NAILING LOCATIONS, APPLY CHEMICAL SANDING AGENT AND APPLY NON-SHRINK GROUT FLUSH WITH SURFACE OF GUTTER.

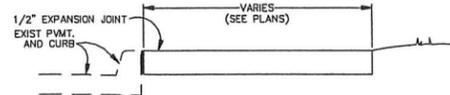


6" MONOLITHIC CURB
N.T.S.



NOTE: PROVIDE 1/2" EXPANSION JTS. WHERE NEW SIDEWALK ABUTS EXISTING AND AT 100' INTERVALS.

TYPE A

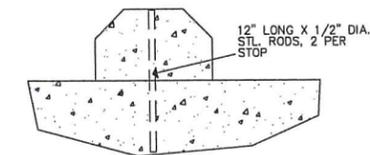


NOTE: SEE DETAIL ABOVE FOR ADDITIONAL INFO.

TYPE B

TYPICAL SIDEWALK SECTIONS
N.T.S.

CURB INLET PROTECTION
N.T.S.



WHEEL STOP DETAIL
N.T.S.

PROJECT: 1027			THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY EDWARD D. SULAK, JR., P.E. #85602 ON THE DATE SHOWN ON THE DATE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. 07-30-2020 DATE NAME	CENTEX ENGINEERS, LLC TEXAS REGISTERED ENGINEERING FIRM F-20801	THE FIRST NATIONAL BANK OF CENTRAL TEXAS		SHEET NO. C7.0
DESIGNED: CDS					PARKING LOT ADDITION		
DRAWN: CDS					DETAILS		
CHECKED: EDS							
REV.	DATE	DESCRIPTION					



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Mitch Davison

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and consider action on authorizing the City Manager to enter into an interlocal cooperation agreement regarding street improvements and utility facilities involving the City of Waco.

Background Information:

Following several months of negotiation, Woodway and Waco have agreed to an interlocal agreement that resolves several different items in the Lehigh area. This agreement addresses the following items:

- Lehigh conveys property for ground storage tanks to Waco.
- Waco pays (not to exceed \$500,000.00) for construction of new concrete section of Old McGregor Road from Ritchie Road intersection to Lehigh entry gate. Woodway will have road designed and built to Woodway standards.
- Woodway will freeze water rates billed to Lehigh for 5 years from the date that property is conveyed to Waco. Waco will pay any rate increase over current rate during the five-year period.
- Woodway will provide utilities to Tanglewood Estates subdivision. Woodway will amend existing Certificate of Convenience and Necessity (CCN) maps with the Public Utility Commission (PUC) to reflect the area that will be served by Woodway. This area will be dual certified by both Woodway and Waco.
- A sewer meter will be installed to serve the Tanglewood Estates subdivision. The cost of installation will be equally split between Waco and Woodway. Waco will own, operate, and maintain the meter following installation. Woodway will pay for sewer treatment based on this meter to Waco per its wholesale wastewater agreement.
- Woodway will pay the capital capacity fee for the sewer connection of \$4,940.47/month for 60 months.
- Woodway will approve development plans for the Tanglewood Estates subdivision only if the plans include retention ponds that will protect the downstream Hunters Run subdivision, located in Waco.

A copy of the interlocal agreement is attached for reference.

Financial Impact:

Total of proposed expenditure: N/A
 Amount budgeted:
 Account number:
 If not budgeted, other funding options:

Staff Recommendation:

Staff recommends Council to authorize the City Manager to enter into an interlocal cooperation agreement regarding street improvements and utility facilities involving the City of Waco.

**Interlocal Cooperation Agreement Regarding
Street Improvements and Utility Facilities Involving
the City of Waco, Texas, and the City of Woodway, Texas**

This Interlocal Cooperation Agreement (“Agreement”) is entered into by and between the City of Waco (“Waco”), and the City of Woodway (“Woodway”), for the purposes of allowing Woodway to serve customers with retail public utilities (water & sewer) currently within Waco’s Certificated Areas as established by Waco’s Certificates of Convenience and Necessity (“CCNs”), limited to the area expressly addressed in this Agreement; and setting out the terms for the street improvements to a section of Old McGregor Road.

WHEREAS, the Tanglewood Estates subdivision development is located within the city limits of Woodway, but is within the Certificated Area of Waco as established by Waco’s water and sewer CCNs; and

WHEREAS, the Tanglewood Estates subdivision development is approximately 236 acres that is bordered by Old McGregor Road, Ritchie Road, Union Pacific Railroad, and the western-most property line of the Hunters Run subdivision, and is the same 236 acres that are the subject of the *Interlocal Cooperation Agreement Between the Cities of Waco, Texas, and Woodway, Texas, for the purpose of Making Provision for a Sanitary Sewer Line on Certain Described Property Owned by Lehigh Portland Cement Company* entered into on October 18, 2000 (“the 2000 Contract”); and

WHEREAS, Lehigh Portland Cement Company is now operating as Lehigh White Cement Company, LLC; and

WHEREAS, the parties agree that it is in the parties’ best interest for Woodway to be allowed to provide water and/or sewer services to the Tanglewood Estates subdivision development, which subdivision development is shown by the plat attached hereto as Exhibit B and that Waco does not have the infrastructure in place and the necessary infrastructure to serve Tanglewood Estates; and

WHEREAS, by agreeing to allow Woodway to serve the customers located in the Tanglewood Estates subdivision development, Waco is not modifying, releasing, or abandoning any portion of its Certificated Area or amending either of its CCNs; and

WHEREAS, Lehigh White Cement Company, LLC (“Lehigh”) owns property northwest of the intersection of Ritchie Road at Old McGregor Road, two acres of land (“Property”) of which Lehigh has agreed to convey to Waco for use as the site of two 2-million gallon ground storage water tanks; and

WHEREAS, said ground storage water tanks will benefit the citizens of both Waco and Woodway by providing necessary potable water to meet the demands of Waco’s industrial customers, Highway 84 and Old Lorena Rd residential customer’s and Waco’s contractual obligation to provide water to Woodway; and

WHEREAS, a portion of Old McGregor Road—leading up to the two acres of property described above—is in need of repair; and

WHEREAS, said portion of Old McGregor Road (1) is in the city limits of Woodway, and (2) will sustain damage during construction of the ground storage water tanks; and

WHEREAS, any improvements to said portion of Old McGregor Road (post-construction of the ground storage water tanks) will benefit Waco because Waco will need to use this stretch of road to access the ground storage water tanks for maintenance purposes; and

WHEREAS, the parties desire to enter into this Interlocal Cooperation Agreement pursuant to Chapter 791 of the *Texas Government Code* for the above reasons, and also whereby Waco agrees to allow Woodway to serve and Woodway agrees to serve water and/or sewer customers within the Tanglewood Estates subdivision development as is authorized by Section 13.248 of the *Texas Water Code*.

NOW, THEREFORE, the City of Waco (“Waco”), and the City of Woodway (“Woodway”) (collectively “the parties”) agree as follows:

1. The foregoing recitals are incorporated herein and made findings of fact.
2. **WACO’S CONSTRUCTION OF GROUND WATER STORAGE TANKS.**
 - a. The City of Waco will use the Property (conveyed to Waco) for two 2-million gallon ground storage water tanks.
 - b. Waco alone will be responsible for the design and construction of the tanks, and all competitive bidding requirements involved therewith.
 - c. Construction of said tanks will take place in more than one phase.
 - d. Phase 1 will consist of construction of the first 2-million gallon tank.
3. **WOODWAY’S CONSTRUCTION OF STREETS IMPROVEMENTS.**
 - a. At the completion of Phase 1 of construction (i.e. when construction of the first 2-million gallon tank is completed), Woodway will have a portion of Old McGregor Road improved (“Street Improvements Project”). Woodway will bid this Street Improvement Project as part of Woodway’s overall street program.
 - b. Said portion of Old McGregor Road will be from its intersection with Ritchie Road to its intersection with the entry gate to Lehigh’s driveway. This portion of Old McGregor Road is entirely within the city limits of Woodway.

- c. Said improvements will consist of a concrete surface that is constructed to meet the City of Woodway street specifications. Said improvements will result in a road capable of accommodating truck traffic – the road shall be the same width as the existing road; the new road will not have curbs or gutters.
- d. This street improvement will be under the direction of the City of Woodway. Woodway will be responsible for the competitive bidding process of this street improvements project, will ensure that the chosen engineer and the chosen construction contractor have each met appropriate insurance and bonding requirements for the entirety of the street project.
- e. Woodway and Waco acknowledge that the Street Improvements Project will benefit Waco citizens in that Waco will be able to use this portion of Old McGregor Road to access the new ground storage tanks for maintenance, and (after construction of the concrete roadway) the road will be better able to support Waco's fleet that will travel the road.
- f. The Estimated Cost of the Street Improvements (for both engineering and construction) is a total amount not to exceed \$500,000.00. Waco will be responsible for paying this Estimated Cost and the City of Woodway will pay any cost exceeding the \$500,000.00.

4. DOMESTIC WATER RATES FOR LEHIGH WHITE CEMENT COMPANY.

- a. The current domestic water rates charged to Lehigh by Woodway will remain static for a period of five (5) years starting on the date on which the two-acre land conveyance to Waco becomes effective. It is understood that volumetric consumption will vary from month to month. Any rate increase above current rates will be calculated by Woodway and billed to Waco by September 30th of each year.

5. WOODWAY TO PROVIDE UTILITY SERVICES TO TANGLEWOOD ESTATES.

- a. Waco is the holder of Water CCN # 10039, issued by TCEQ (or its predecessor agency), for the provision of retail water service to certain areas in and about McLennan County, Texas; and the holder of Sewer CCN # 20010.
- b. Woodway is the holder of Water CCN # 10022, issued by TCEQ (or its predecessor agency), for the provision of retail water service to certain areas in and about McLennan County, Texas; and the holder of Sewer CCN # 20014.
- c. The service areas of Waco's Water CCN and Woodway's Water CCN do not currently overlap. The service areas of Waco's Sewer CCN and Woodway's Sewer CCN do not currently overlap.

- d. Woodway is a retail public utility supplier with its own CCN, and has the capacity and infrastructure to handle the additional demand that will be created on its system. Woodway represents to Waco that it will serve the Tanglewood Estates subdivision with water and/or sewer services sufficient to meet the needs of said subdivision development.
- e. Waco hereby designates that Woodway shall be the sole provider of retail public utilities to the Tanglewood Estates subdivision development.
- f. Before Woodway is allowed to serve water or sewer to the Tanglewood Estates, Woodway will apply to the Public Utility Commission of Texas (PUC), pursuant to Texas Water Code § 13.248 and 16 TAC § 24.245 (the "Application"), requesting an amendment to its Water and Sewer CCNs so as to be dually certified with Waco for both over the Tanglewood Estates area. Woodway is responsible for all expenses incurred for any documents that must be filed with PUC pursuant to this Agreement.
- g. Nothing herein shall constitute an abandonment, amendment, or release of any part of Waco's Certificated Area. In the event that PUC's approval of such Application would result in decertification of any portion of Waco's Water or Sewer CCN, the Parties shall take any and all steps to ensure that the PUC does not decertify any portion of Waco's Water or Sewer CCN including, but not limited to, withdrawing that Application. If any portion of Waco's Water or Sewer CCN is decertified by the Application, then Woodway will not oppose Waco filing an application at the PUC to add such decertificated area back into Waco's Water and/or Sewer CCN boundaries, and Woodway will join in filing and supporting such application as necessary.
- h. Waco will not offer water or sewer services in the area covered by this Agreement for so long as Woodway serves said area. In the event that Woodway cannot or no longer desires to provide water or sewer service(s) to the Tanglewood Estates, then Waco shall have the right of first refusal and preferential right to provide said service to the Tanglewood Estates. If Waco does not exercise such right of first refusal or preferential right by giving written notice to Woodway within sixty (60) days after Waco's receipt of written notice from Woodway (of the stopping of service), then Waco's right of first refusal and preferential right shall expire.
- i. Any infrastructure built by Woodway that is within Waco and Woodway's dual CCN area must meet Woodway's standards (as the standards exist at the time of construction of the infrastructure). Woodway will be responsible for the cost of any water and/or sewer meters to be installed in Tanglewood Estates, and will be responsible for the maintenance of said meters thereafter, until such time (if it occurs) that Waco exercises its right of first refusal under Section 5 (h).

6. UTILITY SERVICES FOR TANGLEWOOD ESTATES.

- a. In recognition of the assistance provided to Waco by Woodway in obtaining of the property and easements from Lehigh, this section establishes the unique terms under which utility services will be provided to Tanglewood Estates.
- b. Woodway and Waco agree to install one large sewer meter, with each City being responsible for 50% of the purchase and installation expense. The meter will calculate all sewer flows out of the Tanglewood Estates subdivision. In accordance with Waco and Woodway's Wholesale Wastewater Agreement entered into October 1, 2019), after installation of said sewer meter, the sewer meter will become the property of Waco. Operation and maintenance of the sewer meter will be in accordance with the Wholesale Wastewater Agreement. Woodway's 50% of the meter cost and installation will be added to the Capacity Fee.
- c. Waco will continue to send monthly invoices to Woodway for sewer service. For service pertaining to the Tanglewood Estates subdivision, said monthly invoices will include a Capacity Fee in the amount of \$4,940.47 plus Woodway's monthly allocation of the meter expense. This Capacity Fee will be included on the monthly invoice for the first sixty (60) months of sewer service.
- d. Woodway shall not approve of any development plans for the Tanglewood Estates subdivision unless said plans include the construction of enough retention ponds to protect the Hunters Run subdivision (adjacent to the future Tanglewood Estates subdivision) from stormwater flows from Tanglewood Estates.

7. MISCELLANEOUS.

- a. To the extent that any of this Agreement conflicts with the 2000 Contract, this Agreement will prevail.
- b. **Notice.** Any notice provided for under the terms of this Agreement by either party to the other shall be in writing and may be effected by registered or certified mail, return receipt requested addressed and delivered to the following:

to Waco: Utilities Director
City of Waco
P.O. Box 2570
Waco, Texas 76702-2570

With a copy to:

City Attorney

City of Waco
P.O. Box 2570
Waco, Texas 76702-2570

to Woodway: City Manager
City of Woodway
922 Estates Drive
Woodway, Texas 76712

Each party may change the address to which notice may be sent to that party by giving notice of such change to the other parties in accordance with the provisions of this Agreement.

- c. The following are attached hereto and incorporated herein for all purposes:
 - i. Exhibit A: Map of two acres (being conveyed from Lehigh to Waco) that are adjacent to the property line of a 48.92 acre tract referenced as McLennan County Property Identification No. 140026 (GED-ID 36-022400-001200-3)
 - ii. Exhibit B: Map of the future site of the Tanglewood Estates subdivision development
 - iii. Exhibit C: *Interlocal Cooperation Agreement Between the Cities of Waco, Texas, and Woodway, Texas, for the purpose of Making Provision for a Sanitary Sewer Line on Certain Described Property Owned by Lehigh Portland Cement*, entered into on October 18, 2000
- d. This Agreement is contingent upon approval by the governing body of each party.
- e. To the extent required by law or regulation, this Agreement is subject to the approval of the Public Utility Commission of Texas. Woodway is responsible for all expenses incurred for any documents that must be filed with PUC pursuant to this Agreement.
- f. This Agreement binds each of the parties and their successors and assigns. No party may assign this Agreement or any rights/designation hereunder in whole or in part without the written consent of the other parties.
- g. This Agreement shall be governed by and construed and enforced under the laws of the State of Texas. The parties expressly agree that all judicial proceedings to enforce any of the provisions of this Agreement shall take place in McLennan County, Texas.

City of Woodway, Texas

By: _____
Jane Kittner
Mayor

Date: _____

Attest:

By: _____
Donna Barkley
City Secretary

City of Waco, Texas

By: _____
Bradley Ford
City Manager

Date: 7/27/20

Approved as to form and legality:

By: _____
Jennifer Richie
City Attorney



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Donna Barkley

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and briefing concerning the Coronavirus (COVID-19) and any actions necessary thereto

Background Information:

This item is provided so that the City Manager can provide updates regarding the Coronavirus and how it is affecting the City, staff and citizens. This will also provide an item for any discussion and possible action needed related to the Coronavirus.

Financial Impact:

Total of Proposed Expenditure: \$

Amount Budgeted: \$

Account No.:

If not budgeted, other funding options:

Staff Recommendation:

Approve items related to the Coronavirus if needed

WOODWAY CITY COUNCIL MINUTES

Budget Work Session – July 10, 2020

The Woodway City Council met in a work session Woodway City Hall, via Zoom meeting, July 10, 2020, at 10:30 a.m. The following individuals were in attendance:

Mayor:	Jane Kittner
Mayor Pro Tem:	Vic Sober
Councilmembers:	Scott A. Giddings, Amine Qourzal, David Mercer and David Russell
Councilmember Elect:	Storey Cook
City Manager:	Shawn Oubre
City Secretary:	Donna Barkley
Other City Staff:	Lenny Caballero, William Klump, Bret Crook, Mitch Davison, John Norman and Jessie Reid
Contract Staff:	None
Registered Guests:	None

Mayor Kittner called the work session to order at 10:34 a.m. This work session was held for the purpose of discussing the 2020/2021 proposed annual budget. As it was a work session only, no action was taken.

This meeting is a follow-up to the Budget Work Session that was held on June 19th. Dr. Oubre provided updates on the following and a brief discussion was held on each topic:

- Blue Cross/Blue Shield
- Garbage rates
- Sewer rates
- Sewer Replacement Project, Phase II
- Merit pay update
- Removal of one truck in Community Services and Development capital outlay request
- Woodway Family Center remodeling vs. new building

There was also discussion on hesitancy to schedule events at the Arboretum for the fall due to COVID-19. Guidelines are being followed.

Dr. Oubre also provided information regarding the need for disaster contracts and the process for this.

As the discussion concluded, the City Manager provided the possibility of scheduling another meeting to discuss a proposed tax rate once we have received the certified no-new-revenue and voter-approval tax rate calculations from the Chief Appraiser which is expected on July 25th. The work session ended at 11:29 a.m.

Donna Barkley, City Secretary

Jane Kittner, Mayor

WOODWAY CITY COUNCIL MINUTES

July 13, 2020

The Woodway City Council met in a regular meeting via a virtual Zoom meeting, on Monday, July 13, 2020, at 5:30 p.m. The following individuals were in attendance:

Mayor:	Jane Kittner
Mayor Pro Tem:	Vic Sober
Councilmembers:	Scott A. Giddings, Amine Qourzal, David Mercer and David Russell
Councilmember Elect:	Storey Cook
City Manager:	Shawn Oubre
City Secretary:	Donna Barkley
City Staff:	Lenny Caballero, John Norman, William Klump, Bret Crook and Keith Lowrey
Contract Staff:	None
Registered Guests:	None

CALL MEETING TO ORDER

Mayor Kittner called the meeting to order at 5:31 p.m.

INVOCATION

1. INVOCATION

Mayor Pro Tem Sober provided the invocation.

PRESENTATIONS AND VISITORS

2. QUARTERLY PRESENTATION – FINANCE DEPARTMENT

William Klump, Finance Director, provided the quarterly presentation for the Finance Department which included statistics for the third quarter report for the fiscal year running through June 30th with 75% of fiscal year being completed. Mr. Klump discussed general fund revenues and expenditures, utility fund revenues and expenditures, water system revenues and expenditures, sewer system revenues and expenditures, and tourism fund revenues and expenditures. He also explained areas where we are seeing the affect of COVID-19. Overall, Mr. Klump stated that this is a good report, especially given the circumstances. There were no questions.

3. HEAR VISITORS

No visitors came forward to speak at this time and there were no public comments received electronically.

PUBLIC HEARINGS AND RELATED ACTION

4. A. PUBLIC HEARING ON APPLICATION TO DEVELOP IN A PLANNED DISTRICT (DAYCARE) LOT 1, BLOCK 10, OF THE WOODWAY CENTER ADDITION TO THE CITY OF

WOODWAY CITY COUNCIL MINUTES

Page 2

July 13, 2020

WOODWAY, MCLENNAN COUNTY, TEXAS, LOCATED AT THE INTERSECTION OF
ARCHWAY DRIVE BETWEEN COLONNADE PARKWAY AND JEWEL DRIVE

Mayor Kittner opened the public hearing.

Dr. Oubre stated that this is the final public hearing for consideration of this project. This is a daycare called Kids R Kids Learning Academy. This building will house ten classrooms and space for officing. The daycare will provide for six months to twelve years of age. It will perform as a daycare and after school program. This will be located at Archway and Jewel. The Planning and Zoning Commission heard this on June 9th and are recommending this for approval.

Jesse Blackwell (Applicant) and Clay Christy (Claymore Engineering, 1903 Central Drive, Bedford, TX) did not have anything to add but were available to answer any questions that the Council might have.

With no one else to speak in favor or in opposition, the Mayor closed the public hearing.

- B. DISCUSSION AND CONSIDER ACTION ON APPLICATION TO DEVELOP IN A PLANNED DISTRICT (DAYCARE) LOT 1, BLOCK 10, OF THE WOODWAY CENTER ADDITION TO THE CITY OF WOODWAY, MCLENNAN COUNTY, TEXAS, LOCATED AT THE INTERSECTION OF ARCHWAY DRIVE BETWEEN COLONNADE PARKWAY AND JEWEL DRIVE

Mayor Kittner made a comment regarding the landscaping and feels it will be a great addition to the City.

Councilmember Giddings made a motion to approve the request for Application to Develop in a Planned District (daycare) Lot 1, Block 10, Woodway Center Addition, located at the intersection of Archway Dr. between Colonnade Pkwy and Jewel Drive. Mayor Pro Tem Sober seconded, and the motion passed unanimously.

ITEMS FOR INDIVIDUAL DISCUSSION, CONSIDERATION AND/OR ACTION

5. DISCUSS AND CONSIDER ACTION ON RESOLUTION R-20-11 ADOPTING AND EXECUTING A PROFESSIONAL SERVICES AGREEMENT WITH THE TEXAS COALITION FOR AFFORDABLE POWER (TCAP) STRATEGIC HEDGING PROGRAM (SHP) AND GEXA ENERGY'S FOR THE PURCHASE OF ELECTRICITY TO BE PROVIDED ON AND AFTER JANUARY 1, 2023

Dr. Oubre stated that TCAP is a consortium of cities and government entities that come together and wholesale a leverage to buy electricity in the open market since we are an open market utility system here. In 2016, the City Council executed the same contract we are asking you to extend now through TCAP with Gexa. Gexa is our utility provider. They broker a bid with TCAP to find the cheapest rates possible for cities to operate under. The City has history with TCAP; we are happy with TCAP and the provider.

Margaret Somerveve, Executive Director with TCAP provided a brief presentation. She stated that the City's current contract expires at the end of 2022. Energy prices dip to some of their lowest prices two years from the current date which is why they are getting the members to sign a contract that will begin January 1, 2023. In January 2021 they will buy electricity for 2023.

WOODWAY CITY COUNCIL MINUTES

Page 3

July 13, 2020

Councilmember Qourzal made a motion to adopt and execute Resolution R-20-11 allowing the City to enter into a professional services agreement with the Texas Coalition for Affordable Power (TCAP) Strategic Hedging Program (SHP) and Gexa Energy for the purchase of electricity to be provided on and after January 1, 2023. Mayor Pro Tem Sober seconded, and the motion passed unanimously.

6. DISCUSSION AND CONSIDER ACTION ON ACCEPTANCE OF APPLICATION TO DEVELOP IN A PLANNED DISTRICT (DENTAL CLINIC) LOT 13, BLOCK 1, OF THE BURNETT ADDITION TO THE CITY OF WOODWAY, MCLENNAN COUNTY, TEXAS, LOCATED AT 117 BURNETT COURT

Dr. Oubre provided this item is brought for acceptance only and there will then be two required public hearings. The first at a Planning and Zoning meeting scheduled for July 14th and the second at City Council on August 10th for final action. The applicant is Nicholas Cobb. He currently has a business called Heart of Texas Smiles in a building next to where he is proposing this.

Nick Cobb (applicant) stated that the City Manager did a great job introducing the project. His current office is two doors down from this lot. He wants to build this new office with larger capacity to serve more patients.

John Holtz, (architect) stated that this is a new 8,900 sq. ft. building and he has been working very closely with the civil engineer, David Marek. This is a very attractive building designed to be complimentary with the neighborhood and also be an attractive and inviting facility for modern and innovative dentistry with fourteen exam rooms. It is an L-shaped building with two main volumes and a clear story window area to bring daylight into the facility.

There was brief discussion regarding the setback requirements and the detention pond due to the drainage issues in that area.

Councilmember Russell made a motion to accept the Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court. Councilmember Mercer seconded, and the motion passed unanimously.

7. DISCUSSION AND CONSIDER ACTION ON MCLENNAN COUNTY 9-1-1 EMERGENCY ASSISTANCE DISTRICT BOARD OF MANAGERS RUN-OFF BALLOT

Dr. Oubre provided an item was previously brought to City Council for nominations and the nomination was made for Chief Devlin of Hewitt. There was a tie vote, so therefore, we are voting in the run-off of two nominees. In speaking with Chief Crook, it is our recommendation to support Chief Devlin to serve on the McLennan County 9-1-1 Emergency Assistance District Board of Directors.

Councilmember Giddings made a motion to cast their vote for Jim Devlin. Councilmember Mercer seconded, and the motion passed unanimously.

8. DISCUSSION AND BRIEFING CONCERNING THE CORONAVIRUS (COVID-19) AND ANY ACTIONS NECESSARY THERETO

WOODWAY CITY COUNCIL MINUTES

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July 13, 2020

Dr. Oubre provided the following updates:

- Since we met last, you were going to consider tonight extending or rescinding your prior action requesting masks in businesses if social distancing was not possible. The enforcement was basically on the business owner. On July 2nd, the Governor passed an executive order to supersede your local order and basically put the burden on the individual and took it away from the business. The current Governor's order issued July 2nd entitled GA 29 is what is in play right now. He has not given any indication to when he will lift it.
- In talking with the Chief this morning, no one has called the City for enforcement, no one has called the City for a warning and the officers have not participated in issuing any warnings. Although, our local community may disagree with the order, there is an awareness and a desire to comply with the Governor's current order.

There are no items in need of action.

CONSENT AGENDA

9. A. DISCUSSION AND CONSIDER ACTION ON MINUTES OF THE REGULAR CITY COUNCIL MEETING HELD JUNE 8, 2020, AT 5:30 P.M.
- B. DISCUSSION AND CONSIDER ACTION ON MINUTES OF THE CITY COUNCIL BUDGET WORK SESSION HELD JUNE 19, 2020, AT 10:30 A.M.
- C. DISCUSSION AND CONSIDER ACTION ON MINUTES OF THE SPECIAL CITY COUNCIL MEETING HELD ON JUNE 26, 2020 AT 10:00 A.M.
- D. DISCUSSION AND CONSIDER ACTION ON ACCEPTANCE OF "CERTIFICATION OF UNOPPOSED CANDIDATES" AND ON ORDINANCE 20-06, DECLARING UNOPPOSED CANDIDATE IN THE AUGUST 15TH SPECIAL CITY ELECTION TO BE ELECTED TO OFFICE AND CANCELLING THE ELECTION (*ANÁLISIS Y CONSIDERACIÓN DE LAS ACCIONE SOBRE "CERTIFICACIÓN DE CANDIDATO SIN OPOSICIÓN" Y SOBRE LA ORDENANZA 20-06, DECLARANDO CANDIDATO SIN OPOSICIÓN EN LAS ELECCIONE ESPECIAL DE LA CIUDAD DEL 15 DE AGOSTO DE 2020 QUE SERÁN ELEGIDOS PARA SUS FUNCIONES Y CANCELANDO LA ELECCIÓN*)
- E. DISCUSSION AND CONSIDER ACTION ON RESOLUTION R-20-12, DECLARING PROPERTY EXCESS TO THE CITY'S NEEDS AND AUTHORIZING THE DISPOSAL OF SAME
- F. DISCUSSION AND CONSIDER ACTION APPROVING RATE INCREASE OF TWO PERCENT (2%) TO THE BASE RESIDENTIAL RATE FOR YEAR FOUR OF THE SERVICE CONTRACT BETWEEN THE CITY AND FRONTIER ACCESS, LLC FOR WASTE COLLECTION
- G. DISCUSSION AND CONSIDER ACTION ON REQUEST FROM JOHN WILLIAMS FOR THE RENEWAL OF A SPECIAL USE PERMIT FOR A HOME OCCUPATION (MAIL ORDER BUSINESS - BOY SCOUT MEMORABILIA) AT 204 TAOS, WOODWAY, TEXAS

WOODWAY CITY COUNCIL MINUTES

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July 13, 2020

- H. DISCUSSION AND CONSIDER ACTION ON CHANGING COURT COLLECTION VENDORS FROM VIGILANT SOLUTIONS TO LINEBARGER ATTORNEYS AT LAW
- I. DISCUSSION AND CONSIDER ACTION ON RESOLUTION R-20-13, DESIGNATING WILLIAM KLUMP AS THE CITY'S EMPLOYEE TO CALCULATE THE NO-NEW REVENUE TAX RATE AND THE VOTER APPROVAL TAX RATE IN ACCORDANCE WITH THE TEXAS TAX CODE

Dr. Oubre provided comments that item D needs to be moved to individual discussion as it is an Ordinance and cannot be considered under the Consent Agenda items. He then provided information on Items E through I.

10. DISCUSSION AND CONSIDER ACTION ON CONSENT AGENDA

Mayor Pro Tem Sober moved that the Consent Agenda be approved as follows except Item D:

- A. Approve the minutes of the regular City Council meeting held June 8, 2020, at 5:30 p.m.
- B. Approve the minutes of the City Council Budget Work Session held June 19, 2020, at 10:30 a.m.
- C. Approve the minutes of the special City Council meeting held on June 26, 2020 at 10:00 a.m.
- E. Adopt Resolution R-20-12, declaring property excess to the City's needs and authorizing the disposal of same
- F. Approve a rate increase of two percent (2%) to the base residential rate for year four of the service contract between the City and Frontier Access, LLC for waste collection
- G. Approve request from John Williams for the renewal of a special use permit for a home occupation (mail order business - Boy Scout memorabilia) at 204 Taos, Woodway, Texas
- H. Authorize cancellation of Vigilant Solutions contract effective September 30, 2020 and enter into a contract for collection services with Linebarger Attorneys at Law effective October 1, 2020
- I. Approve Resolution R-20-13, designating William Klump as the City's employee to calculate the no-new revenue tax rate and the voter approval tax rate in accordance with the Texas Tax Code

Councilmember Qourzal seconded the motion, and the motion passed unanimously.

- 9. D. DISCUSSION AND CONSIDER ACTION ON ACCEPTANCE OF "CERTIFICATION OF UNOPPOSED CANDIDATES" AND ON ORDINANCE 20-06, DECLARING UNOPPOSED CANDIDATE IN THE AUGUST 15TH SPECIAL CITY ELECTION TO BE ELECTED TO OFFICE AND CANCELLING THE ELECTION (*ANÁLISIS Y CONSIDERACIÓN DE LAS ACCIONE SOBRE "CERTIFICACIÓN DE CANDIDATO SIN OPOSICIÓN" Y SOBRE LA ORDENANZA 20-06, DECLARANDO CANDIDATO SIN OPOSICIÓN EN LAS ELECCIONE ESPECIAL DE LA CIUDAD DEL 15 DE AGOSTO DE 2020 QUE SERÁN ELEGIDOS PARA SUS FUNCIONES Y CANCELANDO LA ELECCIÓN*)

WOODWAY CITY COUNCIL MINUTES

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July 13, 2020

Dr. Oubre provided that this item will cancel the special election scheduled for August 15th. and will certify Storey Cook as the unopposed official candidate for the unexpired term of Keven Kehlenbach.

Councilmember Giddings made a motion to accept “Certification of Unopposed Candidate by the City Secretary” and adopt Ordinance 20-06, declaring Storey Cook elected to office for the unexpired term of Place 1 seat for Ward 2 and cancelling the special election ordered for August 15, 2020. Councilmember Russell seconded the motion, Mayor Kittner read aloud the caption of the ordinance as required, and the motion passed unanimously.

ITEMS RELATED TO PROPOSED 2020/2021 ANNUAL BUDGET AND PROPOSED 2020 AD VALOREM TAX RATE

11. Follow-up discussion on the proposed budget and tax rate

Dr. Oubre thanked the Council for the workshop the previous Friday. It was very helpful and productive providing direction for staff. He is still waiting on the following:

- Health insurance costs
- Certified tax rolls – will provide a better number to give us an idea of the deficit we are looking at

There was no additional discussion at this time.

CITY MANAGER AND CITY COUNCIL REPORTS

12. CITY MANAGER’S REPORT

Dr. Oubre provided the following:

- On July 14th, the City of Woodway will be a Vote Center for the Primary Run-Off Election from 7 a.m. to 7 p.m.
- We have arranged for the cleaning company to come in and do a deep cleaning/sanitization of the lobby and City Council Chambers after the election. COVID-19 grant monies will be used for this.
- Viking Contractors have started the slurry seal project and should be finished by Monday or Tuesday of next week
- The contractor started the environmental abatement at the Community Services building. We sent a change order in on that project because the canopy had collapsed.
- Recognition of Keith Lowrey, who has kind of done a quick crash course on training us on this Zoom meeting. He provided the PowerPoint slides this evening for us.
- He also provided appreciation for the City Council and the staff for their patience in working through all this
- Update on the issuance of the Solicitor’s permit during COVID-19 and amending the City’s ordinance to be in compliance with the Supreme Court conditions.

13. CITY COUNCIL REPORTS

Councilmember Mercer attended the previous Planning and Zoning meeting and requested that there be orientation

WOODWAY CITY COUNCIL MINUTES

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July 13, 2020

or training of the new commission members. Dr. Oubre agreed and said that staff will put something together and will look for some training as well.

Councilmember Russell attended the previous Parks and Recreation Commission meeting and relayed that they are very enthusiastic about the possibilities.

CLOSING ITEMS

14. CONSIDER ACTION ON THE OPEN MEETINGS ACT RESOLUTION

Mayor Pro Tem Sober moved to approve the Open Meetings Act Resolution. Councilmember Russell seconded the motion, and the motion passed unanimously.

15. CONSIDER ACTION ON ADJOURNMENT

Councilmember Giddings moved to adjourn the meeting. Mayor Pro Tem Sober seconded the motion, and the motion passed unanimously. The meeting adjourned at 6:39 p.m.

Donna Barkley, City Secretary

Jane Kittner, Mayor



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: William Klump, Finance Director

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and consider action approving return of \$50,000 escrow deposit to the First United Methodist Church of Woodway

Background Information:

On October 4, 2005 the City of Woodway entered into an interlocal agreement with the City of Waco concerning sanitary sewer services for the First United Methodist Church of Woodway. The Church was in need of sanitary sewer services and Woodway was unable to provide the services. Waco provided sanitary sewer services to the Church and Woodway held in escrow \$50,000 from the Church to reimburse Waco for the cost of a grinder pump and force main. Woodway is still holding the \$50,000 in escrow and there is no record of Waco requesting payment for the cost of the grinder pump and force main. Woodway sent a certified letter to Waco on June 22, 2020 asking Waco to submit a request for payment for the amount expended for the grinder pump and force main. The letter explained that any remaining balance of the escrow deposit would be returned to the Church, and if Woodway did not receive a request for payment within 14 business days, all funds would be returned to the Church and any further reimbursement would be between Waco and the Church. More than 14 business days have passed and Waco has not submitted a request for payment.

Financial Impact:

Total of Proposed Expenditure:
Amount Budgeted:
Account No.:
If not budgeted, other funding options:

Staff Recommendation:

Approve the return of \$50,000 escrow deposit to the First United Methodist Church of Woodway.



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Donna Barkley

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and consider action on acceptance of the 2020 City of Woodway ad valorem tax roll totals as certified by the McLennan County Appraisal District Board of Directors and delivered to the City of Woodway on July 25, 2020

Background Information:

This item comes to the Council annually. State law requires that the annual ad valorem tax roll be certified to the governing body. Attached please find the summary pages from the 2020 City of Woodway ad valorem tax roll, along with a statement of certification, received July 25th from Joe Don Bobbitt, Chief Appraiser, McLennan County Appraisal District. In addition, attached is a statement from the City Secretary confirming that the information being presented to you is a true and correct copy of the summary of certified values received.

The annual internal audit was conducted by the City Secretary comparing the 2019 certified roll with the 2020 preliminary and certified rolls. All subdivisions and land surveys on the 2020 preliminary, as well as the number of tax roll entries in each, were compared to last year's certified tax roll. Then, upon receipt of the 2020 certified roll, it was compared in the same manner to the 2020 preliminary. All discrepancies discovered were researched and found to be justified.

Financial Impact:

Total of Proposed Expenditure: n/a
 Amount Budgeted: n/a
 Account No.: n/a
 If not budgeted, other funding options:

Staff Recommendation:

Accept the 2020 City of Woodway ad valorem tax roll totals as certified by the McLennan County Appraisal District Board of Directors and delivered to the City of Woodway on July 25, 2020.

THE STATE OF TEXAS

COUNTY OF MCLENNAN

CERTIFICATION

I, Donna Barkley, City Secretary of the City of Woodway, Texas, do hereby certify that I am the custodian of records for the City of Woodway, and that the attached is a true and correct copy of the summary of values and exemptions from the 2020 Certified Tax Roll submitted by the McLennan County Appraisal District Board of Directors and received by the City of Woodway on July 25, 2020.

WITNESS MY HAND AND OFFICIAL SEAL of the City of Woodway, Texas, this the 5th day of August 2020.



(Seal)


Donna Barkley, T.R.M.C., City Secretary
City of Woodway, Texas

Accepted by the Woodway City Council this the 10th day of August 2020.

Jane Kittner, Mayor
City of Woodway, Texas

THE STATE OF TEXAS §

COUNTY OF McLENNAN §

CERTIFIED ESTIMATE OF THE 2020 APPRAISAL
VALUES FOR McLENNAN COUNTY APPRAISAL
DISTRICT

I, JOE DON BOBBITT, RPA, CHIEF APPRAISER FOR McLENNAN COUNTY APPRAISAL DISTRICT, HEREBY CERTIFY THAT THE ATTACHED ARE THE CERTIFIED ESTIMATE OF VALUES OF McLENNAN COUNTY APPRAISAL DISTRICT WHICH LISTS TAXABLE PROPERTY FOR THE FOLLOWING TAXING UNITS:

- | | |
|---|--|
| Axtell Independent School District | City of Bellmead |
| Bosqueville Independent School District | City of Beverly Hills |
| Bruceville-Eddy Independent School District | City of Bruceville-Eddy |
| China Spring Independent School District | City of Crawford |
| Connally Independent School District | City of Gholson |
| Crawford Independent School District | City of Golinda |
| Gholson Independent School District | City of Hallsburg |
| Hallsburg Independent School District | City of Hewitt |
| La Vega Independent School District | City of Lacy-Lakeview |
| Lorena Independent School District | City of Leroy |
| Mart Independent School District | City of Lorena |
| McGregor Independent School District | City of Mart |
| Midway Independent School District | City of McGregor |
| Moody Independent School District | City of Moody |
| Robinson Independent School District | City of Riesel |
| Riesel Independent School District | City of Robinson |
| Ogelsby Independent School District | City of Valley Mills |
| Valley Mills Independent School District | City of Waco |
| Waco Independent School District | City of West |
| West Independent School District | City of Woodway |
| McLennan County | McLennan County Water Control Dist. #2 |
| McLennan Community College | McLennan & Hill Counties Tehuacana Creek |
| Castleman Creek Watershed | Elm Creek Watershed |

7/25/2020
Date Delivered

7-25-20
Date Received

Joe Don Bobbitt
Donna Barkley

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 4,612

84 - WOODWAY, CITY OF
ARB Approved Totals

7/24/2020

7:02:35PM

Land		Value		
Homesite:		133,509,992		
Non Homesite:		85,637,474		
Ag Market:		353,770		
Timber Market:		0	Total Land	(+) 219,501,236
Improvement		Value		
Homesite:		833,307,539	Total Improvements	(+) 933,519,431
Non Homesite:		100,211,892		
Non Real		Count	Value	
Personal Property:	478		114,341,380	
Mineral Property:	0		0	
Autos:	0		0	
			Total Non Real	(+) 114,341,380
			Market Value	= 1,267,362,047
Ag		Non Exempt	Exempt	
Total Productivity Market:	353,770		0	
Ag Use:	2,300		0	Productivity Loss (-) 351,470
Timber Use:	0		0	Appraised Value = 1,267,010,577
Productivity Loss:	351,470		0	Homestead Cap (-) 4,291,790
				Assessed Value = 1,262,718,787
				Total Exemptions Amount (Breakdown on Next Page) (-) 109,882,152
				Net Taxable = 1,152,836,635

APPROXIMATE TOTAL LEVY = NET TAXABLE * (TAX RATE / 100)
 5,187,764.86 = 1,152,836,635 * (0.450000 / 100)

Tax Increment Finance Value: 0
 Tax Increment Finance Levy: 0.00

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 4,612

84 - WOODWAY, CITY OF
ARB Approved Totals

7/24/2020

7:02:55PM

Exemption Breakdown

Exemption	Count	Local	State	Total
DV1	17	0	113,000	113,000
DV2	17	0	154,500	154,500
DV2S	2	0	15,000	15,000
DV3	10	0	96,000	96,000
DV4	104	0	828,000	828,000
DV4S	17	0	168,000	168,000
DVHS	59	0	16,535,575	16,535,575
DVHSS	11	0	2,397,216	2,397,216
EX-XA	1	0	125,420	125,420
EX-XN	1	0	28,190	28,190
EX-XR	2	0	39,480	39,480
EX-XU	2	0	97,380	97,380
EX-XV	103	0	66,905,560	66,905,560
EX366	40	0	10,930	10,930
FR	1	2,917,551	0	2,917,551
OV65	1,479	14,218,838	0	14,218,838
OV65S	10	100,000	0	100,000
PC	3	4,952,384	0	4,952,384
SO	6	179,128	0	179,128
Totals		22,367,901	87,514,251	109,882,152

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 166

84 - WOODWAY, CITY OF
Under ARB Review Totals

7/24/2020

7:02:35PM

Land			Value	
Homesite:			2,877,000	
Non Homesite:			42,367,798	
Ag Market:			2,034,340	
Timber Market:			0	
Total Land				(+) 47,279,138

Improvement			Value	
Homesite:			15,397,000	
Non Homesite:			78,758,527	
Total Improvements				(+) 94,155,527

Non Real		Count	Value	
Personal Property:		5	399,300	
Mineral Property:		0	0	
Autos:		0	0	
Total Non Real				(+) 399,300
Market Value				= 141,833,965

Ag	Non Exempt	Exempt		
Total Productivity Market:	2,034,340	0		
Ag Use:	49,460	0	Productivity Loss	(-) 1,984,880
Timber Use:	0	0	Appraised Value	= 139,849,085
Productivity Loss:	1,984,880	0	Homestead Cap	(-) 235,201
			Assessed Value	= 139,613,884
			Total Exemptions Amount	(-) 192,000
			(Breakdown on Next Page)	
			Net Taxable	= 139,421,884

APPROXIMATE TOTAL LEVY = NET TAXABLE * (TAX RATE / 100)

627,398.48 = 139,421,884 * (0.450000 / 100)

Tax Increment Finance Value: 0

Tax Increment Finance Levy: 0.00

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 166

84 - WOODWAY, CITY OF
Under ARB Review Totals

7/24/2020

7:02:55PM

Exemption Breakdown

Exemption	Count	Local	State	Total
DV4	1	0	12,000	12,000
OV65	18	180,000	0	180,000
	Totals	180,000	12,000	192,000

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 4,778

84 - WOODWAY, CITY OF
Grand Totals

7/24/2020

7:02:35PM

Land		Value			
Homesite:		136,386,992			
Non Homesite:		128,005,272			
Ag Market:		2,388,110			
Timber Market:		0	Total Land	(+) 266,780,374	
Improvement		Value			
Homesite:		848,704,539			
Non Homesite:		178,970,419	Total Improvements	(+) 1,027,674,958	
Non Real		Count	Value		
Personal Property:	483		114,740,680		
Mineral Property:	0		0		
Autos:	0		0	Total Non Real	(+) 114,740,680
			Market Value	=	1,409,196,012
Ag		Non Exempt	Exempt		
Total Productivity Market:	2,388,110		0		
Ag Use:	51,760		0	Productivity Loss	(-) 2,336,350
Timber Use:	0		0	Appraised Value	= 1,406,859,662
Productivity Loss:	2,336,350		0	Homestead Cap	(-) 4,526,991
				Assessed Value	= 1,402,332,671
				Total Exemptions Amount	(-) 110,074,152
				(Breakdown on Next Page)	
				Net Taxable	= 1,292,258,519

APPROXIMATE TOTAL LEVY = NET TAXABLE * (TAX RATE / 100)
 5,815,163.34 = 1,292,258,519 * (0.450000 / 100)

Tax Increment Finance Value: 0
 Tax Increment Finance Levy: 0.00

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

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84 - WOODWAY, CITY OF
Grand Totals

7/24/2020

7:02:55PM

Exemption Breakdown

Exemption	Count	Local	State	Total
DV1	17	0	113,000	113,000
DV2	17	0	154,500	154,500
DV2S	2	0	15,000	15,000
DV3	10	0	96,000	96,000
DV4	105	0	840,000	840,000
DV4S	17	0	168,000	168,000
DVHS	59	0	16,535,575	16,535,575
DVHSS	11	0	2,397,216	2,397,216
EX-XA	1	0	125,420	125,420
EX-XN	1	0	28,190	28,190
EX-XR	2	0	39,480	39,480
EX-XU	2	0	97,380	97,380
EX-XV	103	0	66,905,560	66,905,560
EX366	40	0	10,930	10,930
FR	1	2,917,551	0	2,917,551
OV65	1,497	14,398,838	0	14,398,838
OV65S	10	100,000	0	100,000
PC	3	4,952,384	0	4,952,384
SO	6	179,128	0	179,128
Totals		22,547,901	87,526,251	110,074,152

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 4,612

84 - WOODWAY, CITY OF
ARB Approved Totals

7/24/2020 7:02:55PM

State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A	SINGLE FAMILY RESIDENCE	3,520		\$12,505,300	\$977,921,508	\$938,856,461
B	MULTIFAMILY RESIDENCE	1		\$0	\$217,280	\$217,280
C1	VACANT LOTS AND LAND TRACTS	278		\$0	\$20,663,718	\$20,663,718
D1	QUALIFIED OPEN-SPACE LAND	3	21.2370	\$0	\$353,770	\$2,300
D2	IMPROVEMENTS ON QUALIFIED OP	3		\$0	\$39,487	\$39,487
E	RURAL LAND, NON QUALIFIED OPE	25	402.6959	\$6,840	\$3,742,393	\$3,722,393
F1	COMMERCIAL REAL PROPERTY	137		\$278,370	\$78,863,881	\$78,851,881
J2	GAS DISTRIBUTION SYSTEM	1		\$0	\$1,482,570	\$1,482,570
J3	ELECTRIC COMPANY (INCLUDING C	4		\$0	\$6,036,760	\$6,036,760
J4	TELEPHONE COMPANY (INCLUDI	2		\$0	\$572,380	\$572,380
J7	CABLE TELEVISION COMPANY	2		\$0	\$2,157,130	\$2,157,130
J8	OTHER TYPE OF UTILITY	1		\$0	\$798,240	\$798,240
L1	COMMERCIAL PERSONAL PROPE	416		\$0	\$57,288,290	\$56,449,688
L2	INDUSTRIAL AND MANUFACTURIN	10		\$0	\$45,551,870	\$38,520,537
O	RESIDENTIAL INVENTORY	67		\$324,370	\$3,579,060	\$3,579,060
S	SPECIAL INVENTORY TAX	3		\$0	\$886,750	\$886,750
X	TOTALLY EXEMPT PROPERTY	149		\$0	\$67,206,960	\$0
Totals			423.9329	\$13,114,880	\$1,267,362,047	\$1,152,836,635

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 166

84 - WOODWAY, CITY OF
Under ARB Review Totals

7/24/2020 7:02:55PM

State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A	SINGLE FAMILY RESIDENCE	67		\$64,270	\$18,735,396	\$18,308,195
B	MULTIFAMILY RESIDENCE	11		\$0	\$2,677,952	\$2,677,952
C1	VACANT LOTS AND LAND TRACTS	18		\$0	\$4,445,897	\$4,445,897
D1	QUALIFIED OPEN-SPACE LAND	3	354.2070	\$0	\$2,034,340	\$49,460
E	RURAL LAND, NON QUALIFIED OPE	1	195.9250	\$0	\$500,750	\$500,750
F1	COMMERCIAL REAL PROPERTY	57		\$5,628,260	\$108,424,240	\$108,424,240
F2	INDUSTRIAL AND MANUFACTURIN	6		\$32,420	\$4,616,090	\$4,616,090
L1	COMMERCIAL PERSONAL PROPE	5		\$0	\$399,300	\$399,300
	Totals		550.1320	\$5,724,950	\$141,833,965	\$139,421,884

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 4,778

84 - WOODWAY, CITY OF
Grand Totals

7/24/2020 7:02:55PM

State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A	SINGLE FAMILY RESIDENCE	3,587		\$12,569,570	\$996,656,904	\$957,164,656
B	MULTIFAMILY RESIDENCE	12		\$0	\$2,895,232	\$2,895,232
C1	VACANT LOTS AND LAND TRACTS	296		\$0	\$25,109,615	\$25,109,615
D1	QUALIFIED OPEN-SPACE LAND	6	375.4440	\$0	\$2,388,110	\$51,760
D2	IMPROVEMENTS ON QUALIFIED OP	3		\$0	\$39,487	\$39,487
E	RURAL LAND, NON QUALIFIED OPE	26	598.6209	\$6,840	\$4,243,143	\$4,223,143
F1	COMMERCIAL REAL PROPERTY	194		\$5,906,630	\$187,288,121	\$187,276,121
F2	INDUSTRIAL AND MANUFACTURIN	6		\$32,420	\$4,616,090	\$4,616,090
J2	GAS DISTRIBUTION SYSTEM	1		\$0	\$1,482,570	\$1,482,570
J3	ELECTRIC COMPANY (INCLUDING C	4		\$0	\$6,036,760	\$6,036,760
J4	TELEPHONE COMPANY (INCLUDI	2		\$0	\$572,380	\$572,380
J7	CABLE TELEVISION COMPANY	2		\$0	\$2,157,130	\$2,157,130
J8	OTHER TYPE OF UTILITY	1		\$0	\$798,240	\$798,240
L1	COMMERCIAL PERSONAL PROPE	421		\$0	\$57,687,590	\$56,848,988
L2	INDUSTRIAL AND MANUFACTURIN	10		\$0	\$45,551,870	\$38,520,537
O	RESIDENTIAL INVENTORY	67		\$324,370	\$3,579,060	\$3,579,060
S	SPECIAL INVENTORY TAX	3		\$0	\$886,750	\$886,750
X	TOTALLY EXEMPT PROPERTY	149		\$0	\$67,206,960	\$0
Totals			974.0649	\$18,839,830	\$1,409,196,012	\$1,292,258,519

2020 CERTIFIED ESTIMATE

CAD State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A1	Real, Residential Single--Family	3,505		\$12,420,860	\$976,856,185	\$937,819,266
A3	Real, Residential, Aux Improvement	76		\$84,440	\$903,563	\$876,119
A4	Real, Imp Only Residential Single Famil	1		\$0	\$130,200	\$130,200
A6	Real, Residential, Condominium	1		\$0	\$31,560	\$30,876
B2	Residential Duplex Real Multi Family	1		\$0	\$217,280	\$217,280
C1	REAL, VACANT PLATTED RESIDENTI	226		\$0	\$9,599,220	\$9,599,220
C2	Real, Vacant Platted Commerical Lot	45		\$0	\$10,427,148	\$10,427,148
C3	REAL, VACANT PLATTED RURAL OR	7		\$0	\$637,350	\$637,350
D1	REAL, ACREAGE, RANGELAND	3	21.2370	\$0	\$353,770	\$2,300
D2	IMPROVEMENTS ON QUAL OPEN SP	3		\$0	\$39,487	\$39,487
E1	REAL, FARM/RANCH, HOUSE	3		\$6,840	\$1,317,173	\$1,297,173
E5	NON-QUAL LAND NOT IN AG USE	22		\$0	\$2,425,220	\$2,425,220
F1	REAL, Commercial	136		\$278,370	\$64,157,081	\$64,145,081
F3	REAL, Imp Only Commercial	1		\$0	\$14,706,800	\$14,706,800
J2	REAL & TANGIBLE PERSONAL, UTILI	1		\$0	\$1,482,570	\$1,482,570
J3	REAL & TANGIBLE PERSONAL, UTILI	4		\$0	\$6,036,760	\$6,036,760
J4	REAL & TANGIBLE PERSONAL, UTILI	2		\$0	\$572,380	\$572,380
J7	REAL & TANGIBLE PERSONAL, UTILI	2		\$0	\$2,157,130	\$2,157,130
J8	REAL & TANGIBLE PERSONAL, UTILI	1		\$0	\$798,240	\$798,240
L1	TANGIBLE, PERSONAL PROPERTY, C	416		\$0	\$57,288,290	\$56,449,688
L2	TANGIBLE, PERSONAL PROPERTY, I	10		\$0	\$45,551,870	\$38,520,537
O1	Res Inventory Vacant Land	63		\$0	\$3,245,860	\$3,245,860
O2	Res Inventory Improved Residential	4		\$324,370	\$333,200	\$333,200
S	SPECIAL INVENTORY	3		\$0	\$886,750	\$886,750
X	Totally Exempt Property	149		\$0	\$67,206,960	\$0
		Totals	21.2370	\$13,114,880	\$1,267,362,047	\$1,152,836,635

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 166

84 - WOODWAY, CITY OF
Under ARB Review Totals

7/24/2020 7:02:55PM

CAD State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A1	Real, Residential Single--Family	67		\$64,270	\$18,728,896	\$18,301,695
A3	Real, Residential, Aux Improvement	1		\$0	\$6,500	\$6,500
B1	Apartments Residential Multi Family	10		\$0	\$2,237,472	\$2,237,472
B2	Residential Duplex Real Multi Family	1		\$0	\$440,480	\$440,480
C1	REAL, VACANT PLATTED RESIDENTI	7		\$0	\$240,560	\$240,560
C2	Real, Vacant Platted Commerical Lot	11		\$0	\$4,205,337	\$4,205,337
D1	REAL, ACREAGE, RANGELAND	3	354.2070	\$0	\$2,034,340	\$49,460
E5	NON-QUAL LAND NOT IN AG USE	1		\$0	\$500,750	\$500,750
F1	REAL, Commercial	57		\$5,628,260	\$108,424,240	\$108,424,240
F2	REAL, Industrial	6		\$32,420	\$4,616,090	\$4,616,090
L1	TANGIBLE, PERSONAL PROPERTY, C	5		\$0	\$399,300	\$399,300
Totals			354.2070	\$5,724,950	\$141,833,965	\$139,421,884

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 4,778

84 - WOODWAY, CITY OF
Grand Totals

7/24/2020

7:02:55PM

CAD State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A1	Real, Residential Single--Family	3,572		\$12,485,130	\$995,585,081	\$956,120,961
A3	Real, Residential, Aux Improvement	77		\$84,440	\$910,063	\$882,619
A4	Real, Imp Only Residential Single Famil	1		\$0	\$130,200	\$130,200
A6	Real, Residential, Condominium	1		\$0	\$31,560	\$30,876
B1	Apartments Residential Multi Family	10		\$0	\$2,237,472	\$2,237,472
B2	Residential Duplex Real Multi Family	2		\$0	\$657,760	\$657,760
C1	REAL, VACANT PLATTED RESIDENTI	233		\$0	\$9,839,780	\$9,839,780
C2	Real, Vacant Platted Commerical Lot	56		\$0	\$14,632,485	\$14,632,485
C3	REAL, VACANT PLATTED RURAL OR	7		\$0	\$637,350	\$637,350
D1	REAL, ACREAGE, RANGELAND	6	375.4440	\$0	\$2,388,110	\$51,760
D2	IMPROVEMENTS ON QUAL OPEN SP	3		\$0	\$39,487	\$39,487
E1	REAL, FARM/RANCH, HOUSE	3		\$6,840	\$1,317,173	\$1,297,173
E5	NON-QUAL LAND NOT IN AG USE	23		\$0	\$2,925,970	\$2,925,970
F1	REAL, Commercial	193		\$5,906,630	\$172,581,321	\$172,569,321
F2	REAL, Industrial	6		\$32,420	\$4,616,090	\$4,616,090
F3	REAL, Imp Only Commercial	1		\$0	\$14,706,800	\$14,706,800
J2	REAL & TANGIBLE PERSONAL, UTILI	1		\$0	\$1,482,570	\$1,482,570
J3	REAL & TANGIBLE PERSONAL, UTILI	4		\$0	\$6,036,760	\$6,036,760
J4	REAL & TANGIBLE PERSONAL, UTILI	2		\$0	\$572,380	\$572,380
J7	REAL & TANGIBLE PERSONAL, UTILI	2		\$0	\$2,157,130	\$2,157,130
J8	REAL & TANGIBLE PERSONAL, UTILI	1		\$0	\$798,240	\$798,240
L1	TANGIBLE, PERSONAL PROPERTY, C	421		\$0	\$57,687,590	\$56,848,988
L2	TANGIBLE, PERSONAL PROPERTY, I	10		\$0	\$45,551,870	\$38,520,537
O1	Res Inventory Vacant Land	63		\$0	\$3,245,860	\$3,245,860
O2	Res Inventory Improved Residential	4		\$324,370	\$333,200	\$333,200
S	SPECIAL INVENTORY	3		\$0	\$886,750	\$886,750
X	Totally Exempt Property	149		\$0	\$67,206,960	\$0
	Totals		375.4440	\$18,839,830	\$1,409,196,012	\$1,292,258,519

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

Property Count: 4,778

84 - WOODWAY, CITY OF
Effective Rate Assumption

7/24/2020

7:02:55PM

New Value

TOTAL NEW VALUE MARKET: \$18,839,830
TOTAL NEW VALUE TAXABLE: \$18,803,150

New Exemptions

Exemption	Description	Count		
EX-XV	Other Exemptions (including public property, re	1	2019 Market Value	\$626,870
EX366	HOUSE BILL 366	7	2019 Market Value	\$10,460
ABSOLUTE EXEMPTIONS VALUE LOSS				\$637,330

Exemption	Description	Count	Exemption Amount
DV2	Disabled Veterans 30% - 49%	2	\$15,000
DV4	Disabled Veterans 70% - 100%	3	\$36,000
OV65	OVER 65	65	\$603,433
PARTIAL EXEMPTIONS VALUE LOSS			70
NEW EXEMPTIONS VALUE LOSS			\$1,291,763

Increased Exemptions

Exemption	Description	Count	Increased Exemption Amount
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INCREASED EXEMPTIONS VALUE LOSS

TOTAL EXEMPTIONS VALUE LOSS \$1,291,763

New Ag / Timber Exemptions

New Annexations

New Deannexations

Average Homestead Value

Category A and E

Count of HS Residences	Average Market	Average HS Exemption	Average Taxable
2,877	\$286,951	\$1,574	\$285,377
Category A Only			

Count of HS Residences	Average Market	Average HS Exemption	Average Taxable
2,875	\$286,753	\$1,575	\$285,178

MCLENNAN County

2020 CERTIFIED ESTIMATE

As of Certification

84 - WOODWAY, CITY OF
Lower Value Used

Count of Protested Properties	Total Market Value	Total Value Used
166	\$141,833,965.00	\$127,629,461



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Donna Barkley

Approved By: _____ 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Follow-up discussion on proposed annual budget and ad valorem tax rate, and consensus on proposed tax rate

Background Information:

This item has been placed on the agenda so that the Council can further discuss the proposed 2020-2021 budget and proposed 2020 tax rate. All department heads will be present at the meeting to answer any questions you may have. Please bring your notebook to the meeting.

In addition to discussing the proposed budget and tax rate, the Council will need to reach a consensus regarding the proposed tax rate so that action can be taken on the next agenda item and the Truth-in-Taxation notice can be placed in the newspaper as required by law.

These items follow the budget/tax rate adoption calendar that you have been provided with previously, and they are necessary if the City of Woodway is to have an adopted tax rate by the date shown on the calendar of August 24th. (The County's goal deadline this year is September 1st)

Financial Impact:

Total of Proposed Expenditure: n/a
Amount Budgeted: n/a
Account No.: n/a
If not budgeted, other funding options:

Staff Recommendation:

Come to a consensus on a proposed 2020 ad valorem tax rate. Staff's recommendation is to keep the same tax rate of \$.4500 per \$100 of property value.



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Donna Barkley

Approved By: _____ 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and consider action on proposal to place an action item on a future meeting agenda for the purpose of adopting a 2020 ad valorem tax rate

Background Information:

The McLennan County Tax Office has provided the following information with regard to the 2020 no-new-revenue and voter-approval tax rates for the City of Woodway:

- No-New-Revenue Tax Rate – 0.445419/\$100 of property value
- Voter-Approval Tax Rate – 0.465234/\$100 of property value

IMPORTANT NOTE:
BY VOTING IN FAVOR OF THIS PROPOSAL, YOU ARE NOT SPECIFYING SUPPORT FOR OR AGAINST THE PROPOSED TAX RATE.
YOU ARE ONLY VOTING TO PLACE AN ITEM ON A FUTURE AGENDA FOR DISCUSSION AND ACTION ON THE SPECIFIED RATE.

Financial Impact:

Total of Proposed Expenditure: n/a
 Amount Budgeted: n/a
 Account No.: n/a
 If not budgeted, other funding options:

Staff Recommendation:

Propose to place an action item on a future meeting agenda for the purpose of adopting a proposed tax rate of .4500/\$100 of property value.



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Donna Barkley

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Discussion and consider action on setting the date, time and place for the required public hearing on the proposed 2020 ad valorem tax rate

Background Information:

According to Truth-in-Taxation, a governing body must call for and announce the date, time and place of the public hearing on the proposed tax rate if the rate exceeds the lower of the no-new-revenue tax rate or voter-approval tax rate; and it is required that a specific notice be published in the newspaper and added to the City's website (if they have one). Per the budget and tax rate calendar that has been provided to the Council, the public hearing has tentatively been scheduled for:

- Monday, August 24th – 5:30 p.m. regular scheduled City Council meeting

Financial Impact:

Total of Proposed Expenditure: n/a
 Amount Budgeted: n/a
 Account No.: n/a
 If not budgeted, other funding options:

Staff Recommendation:

Schedule the required public hearing on the 2020 proposed tax rate for -

- Monday, August 24th – 5:30 p.m.



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: August 10, 2020

Prepared By: Donna Barkley

Approved By: 

- Presentation, Report and/or Discussion Only
- Public Hearing/Related Action
- Individual Discussion/Action
- Consent
- Executive Session

Caption:

Consider action on the Open Meetings Act Resolution

Background Information:

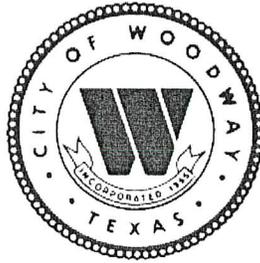
Attached is the Open Meetings Act Resolution. City Attorney David Cherry recommends that this item be placed on each meeting agenda and that it be adopted at each meeting.

Financial Impact:

Total of Proposed Expenditure: \$
 Amount Budgeted: \$
 Account No.: #
 If not budgeted, other funding options:

Staff Recommendation:

Adopt the Open Meetings Act Resolution.



OPEN MEETINGS ACT RESOLUTION

RESOLVED, that it is hereby officially found and determined that the meeting at which this resolution is adopted was noticed and has been open to the public as required by law.

PASSED AND APPROVED this the 10th day of August 2020.

THE CITY OF WOODWAY, TEXAS

By _____
MAYOR

ATTEST:

CITY SECRETARY



MISCELLANEOUS ITEMS FOR COUNCIL

Distributed with August 10, 2020 City Council Meeting Packet

- Tentative list of agenda items for future meetings
 - Proposed changes to the Master Fee Schedule
- Thank you letter from Heart O' Texas Fair & Rodeo for partnering with them to provide scholarships to area youth
 - Thank you from Emma Ranly – recipient of StayInn Woodway scholarship
- Letter from the City of Lorena in appreciation of Albert Lopez, City of Woodway Animal Control Officer

Upcoming Calendar Items of Interest

- | | |
|---------------------|--|
| - Monday, August 10 | Regular City Council meeting – 5:30 p.m. – Donald J. Baker
Council Chambers |
| - Monday, August 24 | Regular City Council meeting – 5:30 p.m. – Donald J. Baker
Council Chambers |

P E N D I N G A G E N D A I T E M S

WOODWAY CITY COUNCIL AND PLANNING/ZONING COMMISSION

(Updated 08/05/20)

This is a tentative planning calendar utilized to assist the City Secretary to compile draft meeting agendas.

DATE	CITY COUNCIL ITEMS	DATE	PLANNING & ZONING ITEMS
		08/11/20 ZOOM	- Staff Update - Update from Building Office re: current PUD projects - PH, D & CA on App to Dev. (parking lot for First Ntl Bank of Central TX) Lot 3, Block 8 Woodway Center Addition
08/24/20	<ul style="list-style-type: none"> - Administer Oath of Office to new councilmember - PH on proposed budget - Final adoption of 2020-2021 annual budget by ordinance -D & CA on ratification of the property tax revenue increase reflected in the budget - PH on proposed tax rate - Final adoption of 2020 ad valorem tax rate - D & CA on Ordinance 20-___ amending Chapter 2, Administration... - D & CA on Resolution R 20-___ amending the Master Fee Schedule - D & CA on new city logo - PH, D & CA on App to Dev. (parking lot for First Ntl Bank of Central TX) Lot 3, Block 8 Woodway Center Addition - Recognition of YC members & graduating seniors - Presentation of Bound for the Brave Check to 100 Club and TX Police Chiefs Association (split between the two) - D & CA on Ordinance re: Activity permits 		

RECURRING COUNCIL ITEMS:

- January/April/July/October (first meeting of the month) - Quarterly presentations - Public Safety and Community Services
- January/April/July/October (second meeting of the month) - Quarterly presentation - Finance
- January/July (second Council meeting of the month) - Semi-annual presentations - Carleen Bright Arboretum and Woodway Family Center
- PH, D&CA on continuation of youth curfew - Mandatory every three years - Requires ordinance (Next - 09/2022)
- Woodway Public Safety Association Day proclamation - Annually at the meeting prior to the annual barbecue
- Appointment of Judges to Municipal Court of Record every two years (Next – 09/2020)

RECURRING P&Z ITEMS:- Every six months - Update to P&Z from Building Official regarding current PUD projects (Next 8/2020)

WOODWAY MASTER FEE SCHEDULE

CITY OF WOODWAY MASTER FEE SCHEDULE I. PUBLIC SAFETY FEES

A. Alarm monitoring		
1.	Direct alarm monthly fee	\$19.95
2.	Nonvalid burglar alarms responded to during a 12-month period	
a.	Five (5) or less	No charge
b.	Six (6) or more	\$35.00 each
3.	Nonvalid holdup alarms responded to during a 12-month period	
a.	Two (2) or less	No charge
b.	Three (3) to four (4)	\$50.00 each
c.	Five (5) to six (6)	\$100.00 each
d.	Seven (7) or more	\$150.00 each
B. Animal control		
1.	Special exemption permit application fee	\$100.00
2.	Pickup fee	
a.	First pickup of animal (waived if animal is chipped)	\$100.00
b.	Second pickup of animal	\$125.00
c.	Third and subsequent pickups	\$150.00
d.	Overnight boarding fee (per night)	\$ 25.00
C.	Permit for liquefied flammable gas container	\$80.00
D. Fire services		
1.	Installation and remodeling of fire protection system	
a.	Hood and duct suppression systems	\$40.00 plus \$2.50/head
b.	Sprinkler systems	\$65.00 plus \$0.30 /head
c.	Standpipe systems	\$65.00 plus \$5.00/outlet
d.	Fire pump installation	\$30.00
e.	Fire alarm system	\$65.00 plus \$1.00/device
f.	Commercial paint booth systems	\$55.00 plus \$2.50/head
g.	Additional permits initiated	\$35.00
2.	Installation and removal of fuel storage tanks and dispensing systems	
a.	Installation of underground or above ground storage tanks and/or dispensers	\$80.00 for first tank, plus \$25.00 per additional tank at same location and \$2.00/nozzle on dispensers
b.	Removal of underground storage tanks	\$65.00 for first tank, plus \$25.00 per additional tank at same location
3.	Single events or activities	
a.	Pyrotechnical display or fireworks display	\$105.00 plus \$250.00 for each hour of standby per fire company
b.	Special assembly activities	\$105.00 plus \$250.00 for each hour of standby per fire company
c.	Trench burn	\$105.00 plus \$250.00 for each hour of standby per fire company
E.	Solicitor permit – Commercial (for-profit)	\$30.00 non-refundable \$100.00 per person
F.	Replacement of permit card Solicitor Permit – Non-Commercial (not-for-profit)	\$25.00 \$20.00
G.	Solicitor – individual criminal history check	\$25.00 per person

H.	Solicitor – individual identification card	\$5.00 per person
I.	Activity/Filming permit	\$50.00
G.		

CITY OF WOODWAY MASTER FEE SCHEDULE
II. CARLEEN BRIGHT ARBORETUM FEES

Note: The suggested fees for the special events center are based on current market conditions.

A. The Pavilion Event Center at the Carleen Bright Arboretum		
1.	All Day Rate (10:00 a.m. – midnight)	
a.	Friday & Saturday	\$3,000.00
b.	Sunday – Thursday	\$2,000.00
2.	Daytime Rate (8:00 a.m. – 5:00 p.m.)	
a.	Sunday - Thursday	\$1,000.00
3.	Hourly Rate (Sunday – Thursday)	
a.	Daytime (8:00 a.m. – 5:00 p.m.)	\$200.00 / hour (2 hour minimum)
b.	Evening (5:00 p.m. – midnight)	\$400.00 / hour (2 hour minimum)
4.	Move-In / Out Rate	
a.	Sunday – Thursday (8:00 a.m. – 5:00 p.m.)	\$500.00
5.	Non-Profit Rate	20% discount (with State issued non-profit status)
6.	Catering & Kitchen Usage Fee	\$500.00
B. Grandy Gazebo & Event Lawn		
1.	All Day Rate (10:00 a.m. – midnight)	\$1,200.00
2.	Daytime Rate (8:00 a.m. – 5:00 p.m.)	\$750.00
3.	Hourly Rate	
a.	Daytime (8:00 a.m. – 5:00 p.m.)	\$100.00 / hour (2 hour minimum)
b.	Evening (5:00 p.m. – midnight)	\$200.00 / hour (2 hour minimum)
4.	Move-In / Out Rate	
a.	Sunday – Thursday (8:00 a.m. – 5:00 p.m.)	\$325.00
5.	Non-Profit Rate	20% discount (with State issued non-profit status)
6.	Catering & Kitchen Usage Fee	\$300.00
C. Whitehall Tourist & Community Center		
1.	All Day Rate (10:00 a.m. – midnight)	\$1,000.00
2.	Daytime Rate (8:00 a.m. – 5:00 p.m.)	\$650.00
3.	Hourly Rates	
a.	Daytime (8:00 a.m. – 5:00 p.m.)	\$100.00 / hour (2 hour minimum)
b.	Evening (5:00 p.m. – midnight)	\$200.00 / hour (2 hour minimum)
4.	Move-In / Out Rate	
a.	Sunday – Thursday (8:00 a.m. – 5:00 p.m.)	\$325.00
5.	Non-Profit Rate	20% discount (with State issued non-profit status)
6.	Catering & Kitchen Usage Fee	\$300.00
D. Garden Patio		
1.	All Day Rate (10:00 a.m. – midnight)	\$1,000.00
2.	Daytime Rate (8:00 a.m. – 5:00 p.m.)	\$650.00
3.	Hourly Rates	
a.	Daytime (8:00 a.m. – 5:00 p.m.)	\$100.00 / hour (2 hour minimum)
b.	Evening (5:00 p.m. – midnight)	\$200.00 / hour (2 hour minimum)
4.	Move-In / Out Rate	
a.	Sunday – Thursday (8:00 a.m. – 5:00 p.m.)	\$325.00

5. Non-Profit Rate	20% discount (with State issued non-profit status)
6. Catering & Kitchen Usage Fee	\$300.00
E. Public Safety Officer	\$40.00 / hour

**CITY OF WOODWAY MASTER FEE SCHEDULE
 II. CARLEEN BRIGHT ARBORETUM FEES**

Note: The suggested fees for the **new** special events center are based on current market conditions.

A. Whitehall Center (Includes terrace, patio, cleaning, and use of indoor tables and chairs)	
1. Rates	
a. Per day—10:00 a.m. to 1:00 a.m. Friday or Saturday	\$1000.00
b. Off-peak rate (Sunday-Thursday)	\$ 750.00
2. Non-profit and “Friends” rates	
a. Per day—10:00 a.m. to 1:00 a.m. Friday or Saturday	\$ 900.00
b. Off-peak rate (Sunday-Thursday)	\$ 650.00
3. Business/organization rentals (includes inside tables and chairs)	
a. First hour of rental (M-Th, 8:00 a.m. to 5:00 p.m., excluding holidays)	\$ 150.00
b. Each additional hour of rental	\$50.00 (maximum \$ 300.00)
B. Outdoor learning center/gazebo (Only available as a stand-alone rental Monday-Thursday, 8:00 a.m. to 5:00 p.m.; otherwise included with The Pavilion.)	\$ 250.00 \$125.00 per hour Monday-Thursday between 8:00 a.m. and 5:00 p.m.
C. The Pavilion (Includes Gazebo, cleaning and use of inside tables and chairs)	
1. Rates	
a. Saturday rate—10:00 a.m. to 1:00 a.m.	\$3,000.00
b. Friday rate	\$2,500.00
c. Off-peak rate (Sunday-Thursday)	\$2,000.00
2. Non-profit and “Friends” rates	
a. Saturday rate—10:00 a.m. to 1:00 a.m.	\$2,750.00
b. Friday rate	\$2,250.00
c. Off-peak rate (Sunday-Thursday)	\$1,750.00
3. Business/organization rentals	
a. First hour of rental (Monday-Thursday, 8:00 a.m. to 5:00 p.m., excluding holidays)	\$350.00
b. Each additional hour of rental	\$125.00 (maximum \$725.00)
4. Additional services	
a. Cordless microphone rental	\$50.00
b. Screen and projector rental	\$150.00
D. Security (per hour/per officer with a 2 hour minimum)	\$ 40.00
E. Attendant (per hour/per attendant)	\$ 40.00
Notes: (1) To be paid with rental fees 30 days prior to event; (2) Attendant fees for any portion of use occurring during office hours will be waived	
F. Deposit (refundable/non-refundable in event of cancellation)	
1. Whitehall Center	\$500.00 plus 50% of rental fee
2. The Pavilion	\$500.00 plus 50% of rental fee
3. Outdoor learning center/gazebo (Only available as a stand-alone rental Monday-Thursday, 8:00 a.m. to 5:00 p.m.)	\$300.00
G. Annual membership—“Friends of the Carleen Bright Arboretum”	\$96.00
H. Other items available for rent at either location	

1.	Portrait easel	\$10.00
2.	Table (8') with bar top and black skirting	\$50.00
I.	Vendor fee	\$25.00 per vendor, per event
J.	Weekend Package Rates	
1.	Whitehall Center—Friday and Saturday (25% discount)	\$1500.00 \$500.00 secure the date deposit + 1/2 of rental fee
2.	Whitehall Center—Saturday and Sunday (25% discount)	\$1312.50 \$500.00 secure the date deposit + 1/2 of rental fee
3.	Whitehall Center—Friday, Saturday & Sunday (25% discount)	\$2,063.00 \$500.00 security deposit + 1/2 of rental fee
4.	The Pavilion—Friday and Saturday (25% discount)	\$4,125.00 \$500.00 security deposit + 1/2 of rental fee
5.	The Pavilion—Saturday and Sunday (25% discount)	\$3,750.00 \$500.00 security deposit + 1/2 of rental fee
6.	The Pavilion—Friday, Saturday & Sunday (25% discount)	\$5,625.00 \$500.00 security deposit + 1/2 of rental fee
7.	Whitehall Center and The Pavilion—one single day (25% discount off Whitehall Center)	\$3,250.00 Friday \$3,750.00 Saturday \$2,562.00 Sunday \$500.00 security deposit + 1/2 of rental fee
8.	Whitehall Center and The Pavilion—Whitehall Center on Friday, and The Pavilion on Saturday (25% discount off Whitehall Center)	\$3,750.00 \$500.00 security deposit + 1/2 of rental fee
9.	Whitehall Center and The Pavilion—Whitehall Center and The Pavilion on Friday, and The Pavilion on Saturday	\$4,875.00 \$500.00 security deposit + 1/2 of rental fee
10.	Entire property—Friday, Saturday & Sunday (25% discount)	\$7,688.00 \$500.00 security deposit + 1/2 of rental fee

CITY OF WOODWAY MASTER FEE SCHEDULE
III. REFUSE SERVICES FEES

A. Residential	
1.	Household single residential unit \$16.75 \$16.50/month, twice/week pickup
2.	Large trash/bulky item (per call) \$60.00/load
B. Commercial	
1.	Hand pickup \$20.10 \$19.80 /month
2.	Bulk dumpsters/containers
a.	Per month - scheduled pickups per week

<u>Size</u>	<u>1/Wk</u>	<u>2/Wk</u>	<u>3/Wk</u>	<u>4/Wk</u>	<u>5/Wk</u>
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2 Yd	\$69.00	\$68.00	\$138.00	\$136.00	\$209.00	\$206.00	\$276.00	\$272.00	\$345.00	\$340.00	
3 Yd	\$78.00	\$77.00	\$160.00	\$158.00	\$241.00	\$238.00	\$321.00	\$317.00	\$399.00	\$393.00	
4 Yd	\$91.00	\$90.00	\$182.00	\$179.00	\$273.00	\$269.00	\$362.00	\$357.00	\$455.00	\$449.00	
6 Yd	\$111.00	\$109.00	\$226.00	\$223.00	\$337.00	\$332.00	\$450.00	\$444.00	\$564.00	\$556.00	
8 Yd	\$135.00	\$133.00	\$270.00	\$266.00	\$401.00	\$395.00	\$535.00	\$528.00	\$669.00	\$660.00	
6 Yd k	\$243.00	\$240.00	\$483.00	\$476.00	\$725.00	\$715.00	\$967.00	\$954.00	\$1,211.00	\$1,194.00	
b.	Extra pickup (in addition to regular scheduled pickups)									\$75.00 /pickup	
3.	Roll-off containers (per haul, minimum one haul per billing period)										
a.	On call, non-scheduled										
1)	15 yard								\$201.00	\$198.00	
2)	20 yard								\$219.00	\$216.00	
3)	30 yard								\$259.00	\$255.00	
4)	40 yard								\$304.00	\$300.00	
b.	Regular, scheduled (minimum of two pickups per billing period)										
1)	15 yard								\$189.00	\$186.00	
2)	20 yard								\$207.00	\$204.00	
3)	30 yard								\$246.00	\$243.00	
4)	40 yard								\$291.00	\$287.00	
c.	Deposit									All roll-off/dumpster billing accounts are required to maintain a deposit in the amount equal to one haul charge which will be applied to the final bill	
d.	Initial fee									\$20.00	
e.	Excessive weight, per each ton over 10 ton maximum									\$25.00	
4.	Compactors										
a.	Monthly rental									\$477.00	\$470.00
b.	Compactor wash									\$322.00	\$318.00
5.	Locking lids										
a.	One time set-up charge									\$75.00	
b.	Monthly rate									\$0.00 each	

CITY OF WOODWAY MASTER FEE SCHEDULE
IV. LANDFILL PERMIT FEES

A.	Passenger vehicles and trucks	
1.	Up to and including half ton pickup truck	\$12.00/load
2.	Three-fourth ton pickup truck	\$18.00/load
3.	One ton pickup truck	\$24.00/load
4.	One and one half ton pickup truck	\$36.00/load
5.	Two ton pickup truck	\$48.00/load
6.	Dump truck (5-6 cubic yards)	\$180.00/load
7.	Dump truck (over 6 cubic yards)	\$24.00/ton
B.	Single axle trailers	
1.	Eight foot trailer	\$24.00/load
2.	Ten foot trailer	\$36.00/load
3.	Twelve foot trailer	\$36.00/load
4.	Over twelve foot trailer	\$60.00/load
C.	Double axle trailers	
1.	Fourteen feet or less	\$60.00/load

2.	Sixteen feet and over	\$96.00/load
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CITY OF WOODWAY MASTER FEE SCHEDULE
V. PARKING PERMITS

Long-term parking special permit		\$100.00/permit
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CITY OF WOODWAY MASTER FEE SCHEDULE
VI. GARAGE SALE/ESTATE SALE PERMITS FEES

A.	Garage sale permit fee	\$10.00
B.	Estate sale permit fee	\$50.00

CITY OF WOODWAY MASTER FEE SCHEDULE
VII. PARK FACILITY RENTAL FEES

A. Pavilion		
1.	Minimum three (3) hours	
	a. Woodway residents	\$50.00
	b. Non-Woodway residents	\$60.00
2.	Additional hours	\$15.00/hour
3.	Use of water and/or electricity	\$5.00 each
4.	Excessive water usage fee (for water slides and etc.)	\$30.00
5.	Excessive electricity usage fee (for overloads)	At cost - for City staff and electrician
B. Gazebo/small shelter		
1.	Minimum three (3) hours	
	a. Woodway residents	\$25.00
	b. Non-Woodway residents	\$35.00
2.	Additional hours	\$15.00/hur
3.	Use of water and/or electricity (if available)	\$5.00 each
4.	Excessive water usage fee (for water slides and etc.)	\$30.00
5.	Excessive electricity usage fee (for overloads)	At cost - for City staff and electrician
C.	Annual membership - "Friends of the Woodway Parks"	\$60.00
D.	A 10% discount off total bill for "Friends of the Woodway Parks" members, excluding electricity and water usage	(10% Discount for "Friends")

CITY OF WOODWAY MASTER FEE SCHEDULE
VIII. WATER RATE SCHEDULE

A. Residential service within the city limits		
1.	First 2,000 gallons	\$30.00 /month

2.	2,001 to 15,000 gallons	\$3.80 /thousand
3.	15,001 to 35,000 gallons	\$4.80 /thousand
4.	35,001 gallons and over	\$5.95 /thousand
B.	Commercial service within the city limits	
1.	First 2,000 gallons (3/4" meter), minimum	\$40.00/month
2.	First 2,000 gallons (1" meter), minimum	\$50.00/month
3.	First 2,000 gallons (1.5" meter), minimum	\$62.00/month
4.	First 2,000 gallons (2" meter), minimum	\$92.00/month
5.	First 2,000 gallons (3" meter), minimum	\$150.00/month
6.	First 2,000 gallons (4" to 8" meter), minimum	\$300.00/month
7.	2,001 to 15,000 gallons	\$3.80 /thousand
8.	15,001 to 35,000 gallons	\$4.80 /thousand
9.	35,001 gallons and over	\$5.95 /thousand
C.	Service outside the city limits	1.5 times the rate for inside the city limits
D.	Service within the city, by multiple users	
1.	First 2,000 gallons	\$30.00/month, times number of users served
2.	2,001 to 15,000 gallons	\$3.80/thousand, times number of users served
3.	15,001 to 35,000 gallons	\$4.80/thousand, times number of users served
4.	35,001 gallons and over	\$5.95/thousand, times number of users served

**CITY OF WOODWAY MASTER FEE SCHEDULE
IX. WATER SERVICE CONNECTION FEES**

A.	Deposit for residential service	
1.	Owners	\$100.00
2.	Renters	\$200.00
B.	Deposit for commercial water service (based on meter size)	
1.	3/4" meter; 1" meter; 1.5" meter; 2" meter	\$100.00
2.	3" meter	\$150.00
3.	4" - 8" meter	\$300.00
C.	Deposit for fire hydrant meter	\$300.00
D.	Initial turn-on fee	\$20.00
E.	Delinquent processing fee	\$15.00
F.	Reconnection fee - working hours (Monday - Friday, 8:00 a.m. - 5:00 p.m.)	\$50.00
G.	Reconnection fee - after hours	\$95.00
H.	Re-read fee - after original read and one re-read	\$20.00
I.	Meter testing fee	\$50.00

**CITY OF WOODWAY MASTER FEE SCHEDULE
X. WASTE WATER RATE SCHEDULE**

A.	Residential service	
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1.	Base (0 g.)		\$19.00/month
2.	Usage per 1,000 gallons (based on average water consumption of monthly service periods beginning in January and February)	\$2.25	\$2.00 /thousand
B. Commercial service			
1.	Base		\$23.00/month
2.	Usage per 1,000 gallons (based on average water consumption of monthly service periods beginning in January and February)	\$2.25	\$2.00 /thousand
C. Any discharge to the sewer works stronger than 250 milligrams per liter BOD and/or 250 milligrams per liter suspended solid, must be approved by the City			
1.	Additional surcharge (per milligram per liter of BOD in excess of 250 milligrams per liter per 1,000,000 gallons of flow)		\$0.08
2.	Additional surcharge (per milligram per liter of suspended solids in excess of 250 milligrams per liter per 1,000,000 gallons of flow)		\$0.10

CITY OF WOODWAY MASTER FEE SCHEDULE

XI. BUILDING PERMITS AND OTHER COMMUNITY SERVICES & DEVELOPMENT DEPARTMENT FEES

A. General construction permit fees (Penalty for no permit: Double fee for first offense; double fee +\$200.00 for subsequent offenses)			
1.	New residential/commercial/industrial building/deck/patio cover, per square foot of total slab space + floor space of upper levels		\$0.21
	Minimum fee		\$75.00
2.	Additions (changes of footprint located within five feet of main structure) per square foot of added area		\$0.21
	Minimum fee		\$75.00
3.	Repairs/remodels/alterations, per square foot of repaired/remodeled/altered area		\$0.40
	Minimum fee		\$75.00
4.	Accessory structures (located five feet or more from main structure)		
a.	Buildings	\$40.00 for accessory building ≤ 200 square feet \$75.00 for accessory building ≥ 201 square feet	
b.	Wind & Solar energy systems		\$200.00 each
c.	PODS/temporary storage container – per 30 calendar days, with a maximum of 60 days per one-year period		\$25.00 per 30 calendar days
5.	Second inspection review		\$45.00
6.	Swimming pool/spa permit		\$100.00
7.	Repair/recover/reroof existing buildings		\$35.00
8.	Lawn sprinkler system permit with new or replacement backflow assembly		\$40.00
9.	Miscellaneous - non-permit inspections - commercial checks		\$35.00
10.	Plumbing, mechanical, electrical, and natural gas/propane		
a.	All residential new construction/remodels/additions (unless specified below)		\$.06/square feet of living space
b.	All commercial new construction/remodels/additions (unless specified below)		\$9.00 per each \$1,000.00 of construction cost Minimum \$75.00
c.	Plumbing:		
	(1) Water heater replacement		\$40.00
	(2) Replace/repair water and/or sewer yard lines (no tunneling)		\$35.00
d.	Electrical:		
	(1) Service changeout only		\$75.00
	(2) Meter repair only		\$35.00

e.	Mechanical:	
	(1) Service changeout	\$125.00 up to two unit; add \$50.00 per additional unit
	(2) Duct work changeout only	\$35.00
f.	Natural gas/propane leak repair and testing	\$35.00
11.	Commercial parking lot	\$150.00
12.	No permit (working without required permit)	Double permit fee
B.	Signs	
1.	Face changes only	\$25.00
2.	Non-electrical signs:	
	Zero (0) to thirty-six (36) square feet face area, each sign/side	\$25.00
	All over thirty-six (36) square feet area, each sign/side	\$50.00
3.	Electrical signs (per face):	\$90.00
C.	House moving	
1.	House moved outside city limits	\$50.00
2.	House moved within city limits	\$100.00
D.	Demolition - Minimum fee, plus actual costs incurred in the event the City is required to perform any services	\$50.00
E.	Water system tap charges	
1.	Where tap already exists and can be readily located	
a.	¾" meter water availability fee	\$550.00
b.	1" meter water availability fee	\$600.00
c.	Change out ¾" meter to 1" meter at same location	\$400.00
2.	Where tap does not exist, is not readily located, or paving cut required, the applicant will reimburse the actual costs incurred by the City based on current labor rates, materials, and equipment costs	
a.	1" water tap / ¾" meter	Minimum \$1,500.00
b.	1" water tap / 1" meter	Minimum \$1,500.00
3.	Larger mainline tap	Fee computed using standard fees plus the additional cost of labor and materials, as determined by City Manager
4.	Other charges	Charges for existing service to larger service will be accomplished on a labor and materials cost basis, as determined by the City Manager
5.	Water meter equivalency fee	\$1,400.00 per LUE (living unit equivalent)
F.	Public sewer system tap charges (Mandatory connection to the sanitary sewer system is required within city's limits, except where the nearest sanitary sewer is more than two hundred (200) feet from any part of the property)	
1.	Mainline tap for standard 4" tap where tap already exists and can be readily located	\$325.00
2.	Mainline tap for standard 4" tap where tap is not readily available, manhole bore, or pavement cut is required, the applicant will reimburse the actual costs incurred by the City based on current labor rates, materials, and equipment costs	Minimum \$1,000.00
3.	Commercial tap	Cost to be determined by City Manager based on cost recovery
4.	Other taps	Cost to be determined by the City
G.	Public street and sidewalk construction permit charges	
1.	Permit to construct street, drive approach, sidewalk, street intersection, or curb and gutter	\$35.00

2.	Permit to open, dig into, remove the surface from, excavate, or bore/tunnel under any street, sidewalk, alley, public way or place	\$25.00
H. Platting fees		
1.	Preliminary plat/replat application fee	\$150.00
2.	Final plat, final replat, or amended plat application fee	\$250.00
3.	Preliminary plat/replat, final plat/replat, or amended plat review fees	
a.	First review (fee included with application fee)	\$0.00
b.	Subsequent review(s)	Applicant to reimburse City at cost
4.	Final plat, replat, or amended plat - County filing fee	Applicant to reimburse City at cost
I. Construction plan review		
1.	First review of non-residential construction plans	\$0.00
2.	Subsequent review(s) of non-residential construction plans	Applicant to reimburse City at cost
J.	Processing fee (due to public hearing requirements) for "Application to Develop in Planned Zoning" and "Application to Develop a Church or School in Residential Zoning"	\$300.00
K.	Processing fee (due to public hearing requirements) for "Application for Change in Zoning Classification"	\$300.00

CITY OF WOODWAY MASTER FEE SCHEDULE
XII. WOODWAY FAMILY CENTER FEES

A. League Registration		
1. Youth League		
a.	Registration	\$80.00 / sport / season
b.	Family Discount (for same sport registration)	20% discount (2+ siblings)
2. Adult League		
a.	Registration	\$60.00 / sport / season
B. Camps		
1.	Sport Camps	\$50.00 / week
2.	Public Safety Camps	\$40.00 / week
3.	Virtual Camps	complimentary
C. Family Center Open Gym Membership		
1.	Residential Rate	\$25.00 / year
2.	Non-Residential Rate	\$50.00 / year
D. Gymnasium Event Rental		
1.	Party Room & Court 1	\$50.00 / hour (2 hour minimum)
2.	Reoccurring Group Rental	20% discount (2+ times / month)
E. Field Rental		
1.	Per Field	\$100.00 / hour (2 hour minimum)
A.	Gymnasium rental (fees due when booked/non-refundable in event of cancellation) per day	-(20% Discount for "Friends") \$50.00 per hour (2 hour min.) \$350.00 max. per day
B.	Gymnasium standing rentals	\$40.00 per hour
C. Activity registration—youth		
1.	Woodway resident	\$75.00 (\$20.00 Discount for "Friends")
2.	Non-Woodway resident	\$80.00 (\$20.00 Discount for "Friends")
D. Activity registration—adult		

1. Woodway resident	\$50.00 (\$20.00 Discount for "Friends")
2. Non-Woodway resident	\$55.00 (\$20.00 Discount for "Friends")
E. End-of-season tournament	\$25.00 per team
F. Summer camp – per session	\$50.00 (\$20.00 Discount for "Friends")
G. Tournament registration – individual	\$15.00 per person
H. Sponsorships	
1. Team (advertise on back of t-shirts)	\$200.00
2. Center (advertise at center – 3' x 6' banner – one year term)	\$250.00
I. Walk-in use during business hours	\$3.00/person
K. Annual membership – "Friends of the Woodway Family Center"	\$96.00

NOTE: All City-sponsored events approved by the City Manager are exempt from paying these fees.

**CITY OF WOODWAY MASTER FEE SCHEDULE
 SUMMARY OF AMENDMENTS AND ADOPTING RESOLUTIONS**

Resolution #	Date of Adoption	Section Amended
R-98-10	09/14/1998	Section I
R-98-16	11/09/1998	Section II.A - II.E.
R-99-05	02/22/1999	Section II.B.
R-99-08	03/22/1999	Section III.
R-99-09	04/12/1999	Section II.F.
R-99-14	07/12/1999	Section III.B.2.b.
R-99-17	08/09/1999	Section II.A.1.c. & 2.c.; II.G., IV
R-00-01	01/10/2000	Section V.A
R-00-05	02/28/2000	Section II.F.
R-00-12	09/11/2000	Section II.A.(1.b.-c. & 2.b.-c.); II.B.2.b.; II.E.; II.H.; III; IV
R-01-18	07/23/2001	Section II.A.(4.a.-b.)
R-01-19	09/10/2001	Section I.B.1.; II.A.(1.a.-b, 2.a.-b, & 3.); II.B.; II.D.; II.E.2.; III; VI
R-02-16	09/16/2002	Section II.B.; II.E.; II.E.2.; II.G.(1. & 2.)
R-03-11	09/15/2003	Section II.C.; II.D.; II.E.; II.H.; III.B.(3.c.)
R-03-21	12/08/2003	Section VII.A.-VII.D.; Section VIII.A.-VIII.B.
R-04-03	04/26/2004	Section IV.A. - IV.C.
R-04-08	08/23/2004	Section V.B.; Section IX.A.-IX.I.
R-04-13	09/13/2004	Section III.B.1.-4.; Section V.; Section VII.A.,B.,D.; Section IX.; Section X.
R-05-19	09/12/2005	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-05-19.
R-05-27	11/28/2005	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-05-27.
R-06-05	03/27/2006	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-06-05.
R-06-15	09/11/2006	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-06-15.
R-06-18	10/02/2006	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-06-18.
R-07-07	04/09/2007	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-07-07.
R-07-15	07/09/2007	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-07-15.
R-07-19	09/10/2007	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-07-19.
R-08-17	09/08/2008	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-08-17.
R-09-16	09/01/2009	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-09-16.

R-10-11	09/01/2010	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-10-11.
R-11-03	01/24/2011	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-11-03.
R-11-06	02/14/11	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-11-06.
R-11-16	08/29/11	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-11-16.
R-11-18	10/24/11	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-11-18.
R-12-02	01/09/12	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-12-02.
R-12-17	06/11/12	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-12-17.
R-12-20	08/20/12	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-12-20.
R-12-22	09/10/12	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-12-22.
R-12-23	09/24/12	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-12-23.
R-13-04	04/08/13	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-13-04.
R-13-07	09/03/13	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-13-07.
R-14-04	03/24/14	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-14-04.
R-14-11	09/05/14	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-14-11.
R-15-06	04/13/15	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-15-06.
R-15-10	06/22/15	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-15-10.
R-15-12	08/24/15	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-15-12.
R-16-16	08/29/16	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-16-16.
R-17-16	08/31/17	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-17-16.
R-18-16	08/30/18	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-18-16.
R-19-14	08/30/19	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-19-14.
R-20-____	08/24/20	All amendments are shown on redlined/highlighted text version which is permanently filed with Res. R-20-____.



presented by 

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Liz Barton

James Bates

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Matt D. Fatheree

Matt P. Fatheree

Jenn Felton

Perry Felton

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Ron Knowles

Sloan Kuehl

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July 10, 2020

Dr. Shawn Oubre
StayInnWoodway.org
922 Estates Drive
Woodway, TX 76712

Dear Dr. Oubre:

Thank you for partnering with us to provide scholarships to the youth of Central Texas. We awarded 43 scholarships totaling \$155,000 this year! This would not have been possible without your support.

I've enclosed a thank-you note we received from the recipient of the scholarship awarded in your name this year.

Again, thank you for your support of the Heart O' Texas Fair & Rodeo Scholarship Program.

Sincerely,

A handwritten signature in blue ink that reads "Melinda Moss".

Melinda Moss
Executive Offices
Heart O' Texas Fair & Rodeo

Enclosures

*Executive Board Member

Dear StayInn Woodway.org,

I am honored to receive the Heart of Texas Fair & Rodeo Scholarship. This scholarship will help me reach my goal of attending college, and would not be possible without generous support from sponsors like your organization.

Thank you,
Emma Ranly



City of Lorena
107-A S. Frontage Road
Lorena, Texas 76655
(254) 857-4641 Fax (254) 857-4118

Albert,

*I thank you for doing such a great job!
You represent the City well!*

Shawn

July 20, 2020

Dr. Shawn Oubre, City Manager
City of Woodway
Re: Albert Lopez
922 Estates Drive
Woodway, Texas 76712
254-772-4480

Dear Dr. Oubre,

I want to extend my gratitude on behalf of the City of Lorena to the City of Woodway and especially to Albert Lopez, Code Enforcement/Animal Control Officer. The City of Lorena is currently reviewing our Animal Control measures and as a result of the review, on Tuesday, July 14, 2020, the City of Lorena contacted, via the telephone, Albert Lopez of the City of Woodway Animal Control. Mr. Lopez took the time to speak to the Lorena staff and helped clarify the state laws covering animal control and even offered for the Lorena staff at tour of the City of Woodway Animal Control holding facility.

On Thursday, July 16, 2020, the Lorena City Manager, Chief of Police, and Director of Public Works took advantage of Mr. Lopez's offer and toured the City of Woodway's Animal Control holding facility. While there, we also looked over the Animal Control vehicle, and further reviewed the animal control laws. Due to Mr. Lopez' professionalism and expertise in Animal Control, the City of Lorena staff has a better understanding of the standards for both an animal control facility and transportation vehicle(s).

I would like to ask for this letter to be entered into the permit file of Albert Lopez, Code Enforcement/Animal Control Officer, as a testimony to his commitment to excellence and professionalism exhibited in his field.

Respectfully,

Joseph R. Pace, MPA, PCED
City Manager
jp@lorenatx.gov