

## PUBLIC NOTICE OF MEETING



### PLANNING AND ZONING COMMISSION

JULY 14, 2020 – 5:30 P.M.  
VIRTUAL MEETING

TAKE NOTICE THAT A REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WOODWAY, TEXAS, WILL BE HELD VIA ZOOM MEETING AT 5:30 P.M. ON TUESDAY, JULY 14, 2020, TO CONSIDER AND ACT UPON ANY LAWFUL SUBJECT WHICH MAY COME BEFORE IT INCLUDING, AMONG OTHERS, THE ITEMS LISTED ON THE FOLLOWING AGENDA.

To mitigate the spread of COVID-19, this meeting will be closed to in-person attendance by the public. Commissioners will attend virtually via Zoom Meeting. Citizens may join the Zoom Meeting by calling 1-888-475-4499, entering the Meeting ID # 84106686252 and the password 656266. Citizens may also provide written comments on the agenda items to Amy Novak at [anovak@woodwaymail.org](mailto:anovak@woodwaymail.org) prior to 3:00 p.m. on July 14, 2020.

### AGENDA

1. **Call to order**
2. **Consider action on** the minutes of the June 9, 2020, regular meeting
3. A. **Public hearing on** request on Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court  
  
B. **Discussion and consider action on report and recommendation to the City Council on** Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court
4. **Discussion and consider action on** approval of preliminary plat Lot 1, Block 1, Luan Addition to the City of Woodway, being all of that called 0.933 acres of land described in a deed to Jeton Haxhijaj and Bahrije Haxhijaj as recorded in McLennan County Clerk's document 2019003825 of the Official Public Records of McLennan County, Texas

5. **Staff updates**
6. **Consider action on the Open Meetings Act Resolution**
7. **Consider action on adjournment**

*I certify that the above notice of meeting was posted at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on the 7<sup>th</sup> day of July 2020 at 5:00 p.m.*

  
*Donna Barkley, City Secretary*

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (254) 772-4480 or FAX (254) 772-0695 for further information.



**City of Woodway  
Planning and Zoning Commission Meeting Minutes  
June 9, 2020**

The Planning and Zoning Commission of the City of Woodway met in the Council Chambers at Woodway City Hall, 922 Estates Drive at 5:30 p.m., June 9, 2020.

**Planning & Zoning  
Members Present:**

Raju Patel, Mary Cunningham, Rodney Kroll,  
Grant Martin, Martha Agee, Josef Varga,  
Brent McKenzie, Nancy Pfanner

**Planning & Zoning  
Members Absent:**

Bob Howard

**City Staff Present:**

Shawn Oubre, John Norman, Amy Novak,  
David Mercer, David Russell

**Registered Guests:**

Clay Cristy (engineer),  
Jesse Blackwell (applicant)

**1. Call to order**

Secretary Mary Cunningham, called the meeting to order at 5:30 p.m.

**2. Administer oath of office** to newly appointed/ reappointed members

Amy Novak (Executive Secretary) administered the Oath of Office to newly appointed/ reappointed members: Rodney Kroll, Grant Martin, Martha Agee, Josef Varga and Nancy Pfanner.

**3. Consider action on** election of 2020/2021 officers – chairperson, vice chairperson and secretary

Brent McKenzie made a motion, seconded by Grant Martin to elect Rodney Kroll for chairperson. The motion carried. Raju Patel made a motion, seconded by Grant Martin to elect Mary Cunningham for vice chairperson. The motion carried. Brent McKenzie made a motion, seconded by Nancy Pfanner to elect Raju Patel for secretary. The motion carried.

**4. Consider action on** the minutes of the March 24, 2020, regular meeting

A motion was made by Mary Cunningham, seconded by Raju Patel, that the minutes be approved. The motion carried unanimously.

5. A. **Public hearing on request on Application to Develop in a Planned District (Daycare) Lot 1, Block 10, of the Woodway Center Addition to the City of Woodway, McLennan County, Texas, located at the intersection of Archway Drive between Colonnade Parkway and Jewel Drive.**

Chairman Rodney Kroll opened the public hearing. Clay Cristy (engineer) gave a brief description. Jesse Blackwell (applicant) gave a brief description. With no one else coming forward to speak in favor of or in opposition too, Chairman Rodney Kroll closed the public hearing.

- B. **Discussion and consider action on report and recommendation to the City Council** regarding Application to Develop in a Planned District (Daycare) Lot 1, Block 10, of the Woodway Center Addition to the City of Woodway, McLennan County, Texas, located at the intersection of Archway Drive between Colonnade Parkway and Jewel Drive.

City staff recommends approval. Assistant Director John Norman gave a brief description of the Application to Develop. There were questions asked and they were answered. Clay Cristy (engineer) answered all questions. Brent McKenzie made a motion, seconded by Mary Cunningham recommending that the Application to Develop be approved. The motion carried unanimously.

6. **Staff Updates**

Assistant Director John Norman discussed that the Rodney Kroll Addition has been completed and filed. Assistant Director John Norman also discussed that the Badger Ranch Addition, Tanglewood Addition and Badger Ridge Addition are still developing. Assistant Director John Norman announced that there will be a Land Use Fundamentals Webinar and that the city encourages the Planning and Zoning Commission to attend.

7. **Consider action on the Open Meetings Act Resolution**

Raju Patel made a motion to accept the Open Meetings Act Resolution. The motion was seconded by Brent McKenzie. The motion carried unanimously.

8. **Consider action on adjournment**

A motion was made by Mary Cunningham and seconded by Nancy Pfanner to adjourn the meeting. The motion carried unanimously and the meeting was adjourned at 5:59 p.m.

**CITY OF WOODWAY  
PLANNING AND ZONING COMMISSION AGENDA**

AGENDA ITEM: 3  
AGENDA DATE: July 14, 2020

**SUBJECT:**

- A. **Public hearing** on request on Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.
- B. **Discussion and consider action on report and recommendation to the City Council** on Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.

**DISCUSSION:**

Aaron McMillan (applicant) submitted an Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.

City staff is recommending that the applicant be present to answer any questions from the Planning and Zoning.

The application was formally accepted on July 13, 2020. The City Council is scheduled to review the Planning and Zoning Commission recommendation and take final action on August 10<sup>th</sup>.

**ACTION RECOMMENDED:**

- A. **Conduct public hearing** on Application to Develop in a Planned District.
- B. **Recommend approval** of Application to Develop in a Planned District.

*The Planning and Zoning Commission will make a report and recommendation to the City Council on the following items:*

- *Determine whether or not the Plan complies with the regulations of Appendix A – Zoning, Section 2.2, Special Regulations are Made for the Planned Districts, and all amendments thereto;*
- *Determine whether or not the plan is in the best interest of the City;*
- *Determine whether or not adjacent property values will be adversely affected by such plan (The proposed use of such property is not a matter for consideration and recommendation of the Planning Commission); and*
- *Determine whether or not the plan is consistent with the public interest and purposes of the ordinance*
  
- ***If** the proposed plan includes a request for permission that the structure exceed two and one-half (2 ½) stories or thirty-five (35) feet in height, **then** the report and recommendation shall include the following:*
  - (a) *Whether or not the height of the structure will interfere with the use of adjoining*

*property;*

*(b) Whether or not the height of the structure will unreasonably interfere with the adjoining property owner's right to receive natural light and air circulation; and*

*(c) Whether or not the height of the structure will permit interference with the adjoining property owner's right to privacy to a greater extent than a structure of two and one-half (2 ½) stories of thirty-five (35) feet in height.*

City Staff recommends approval of the project, and that the following motion is made:

“Upon reviewing and discussing the applicable elements of Section 2.203 of Appendix A Zoning- of the City of Woodway Code of Ordinances, I move that the Planning and Zoning Commission recommends Council approval of the Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court.”



Prepared by Director of Community Services



Approved by City Manager



## APPLICATION TO DEVELOP IN A PLANNED DISTRICT

This application is pursuant to Section 2.2 of the City of Woodway Code of Ordinances, Appendix A-Zoning. All applicants are encouraged to review this section and discuss the request with the Director of Community Services prior to submittal of application.

**NOTE:** Application must be submitted with a **FEE OF \$300.00** and **RECEIVED AT LEAST 25 DAYS** in advance of the first public hearing by mail or in person to: Community Services, City of Woodway, 924 Estates Drive, Woodway, Texas, 76712. Applications submitted on the 25<sup>th</sup> day before the first hearing date must be received by 3 p.m. to allow staff sufficient time to meet newspaper deadlines and mail notices as required by law.

### PART I – TO BE COMPLETED BY APPLICANT

(1) PERSON, FIRM OR CORPORATION DESIRING TO ERECT/MODIFY BUILDING(S) OR GROUNDS WITHIN A PLANNED DISTRICT:

X Heart of Texas Smiles

(2) APPLICANT INFORMATION:

Mailing Address: 113 Burnett Court, Woodway, Tx 76712

Telephone: (254) 776-3310 Fax: (254) 224 6066

Email: X ncoobb@heartofTEXASsmiles.com

If firm or corporation, name of contact person: Nicholas Cobb  
*(This individual will be contacted by City Staff on all matters regarding this application.)*

(3) PROPERTY DESCRIPTION:

Lot: 13 Block: 1

Name of Addition: Burnett Addition

PLEASE PROVIDE ACREAGE DESCRIPTION IF NOT PLATTED INTO A LOT AND BLOCK:

\_\_\_\_\_ ACRE(S) IN THE \_\_\_\_\_ SURVEY

*(If property is not platted, an acreage description a.k.a. field notes must be provided with the application as the wording must be included in the public hearing notice as required by law.)*

Physical Address of Property: 117 Burnett Court

Brief Description of Property: \_\_\_\_\_

(4) IS THIS YOUR ORIGINAL REQUEST TO DEVELOP ON THIS SITE?  X  YES or \_\_\_\_\_ NO

(5) APPLICATION MUST BE SUBMITTED WITH (2) COPIES OF THE SITE PLAN SHOWING THE FOLLOWING ITEMS AND MUST INCLUDE THE ENTIRE PARCEL OF PROPERTY UPON WHICH THE APPLICANT DESIRES TO DEVELOP:

(6)

- |  |  |
|--|--|
| <input type="checkbox"/> In detail, the manner in which the land is to be used | <input type="checkbox"/> Elevations                  |
| <input type="checkbox"/> Provision for service areas                           | <input type="checkbox"/> Floor Plan                  |
| <input type="checkbox"/> Provision for landscaping                             | <input type="checkbox"/> Size of the building(s)     |
| <input type="checkbox"/> Provision for off-street parking                      | <input type="checkbox"/> Location of the building(s) |
| <input type="checkbox"/> Character & appearance of the Building(s)             | <input type="checkbox"/> 11x17 copies of plans       |

(For more detail, please see the attached City of Woodway Ordinances Sec. 2.10: Site Development Plans)

SIGNATURE OF APPLICANT: X 

By signing above, the applicant affirms that the information submitted is true and correct and affirms that the owner (if the applicant is not the owner of the property) has been made aware of this request and fully supports the proposed development.)

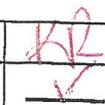
**NOTE:**

IT IS IMPERATIVE THAT THE APPLICANT OR AN INFORMED REPRESENTATIVE OF THE APPLICANT BE PRESENT AT THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL MEETINGS TO EXPLAIN THE PLANS IN DETAIL AN DETAIL AND ANSWER ANY QUESTIONS.

**PART II – THIS SECTION TO BE FILLED OUT BY CITY OF WOODWAY STAFF**

**TENTATIVE schedule for Planning & Zoning Commission and City Council**

Acceptance of application by City Council	7/13/20
Action by P&Z regarding recommendation to City Council	7/14/20
Final action by City Council	8/10/20

Application received by	 1/17/20 2pm <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
\$300.00 application fee paid	
Forward for review processing to	C. Turnmire
Schedule dates provided to	
Information provided by	A. Novak

## NOTICE OF PUBLIC HEARINGS



### Application to Develop in a Planned District

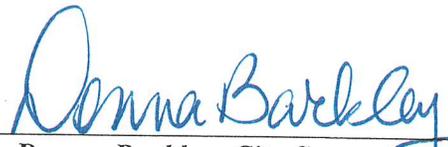
Notice is hereby given to all interested persons that the Planning and Zoning Commission of the City of Woodway, Texas, will conduct a public hearing in the Donald J. Baker Council Chambers at Woodway City Hall, 922 Estates Drive, Woodway, Texas, at 5:30 p.m. on Tuesday, July 14, 2020, on the following request:

Application to Develop in a Planned District (dental clinic) Lot 13, Block 1, of the Burnett Addition to the City of Woodway, McLennan County, Texas, located at 117 Burnett Court

The Woodway City Council is scheduled to conduct a public hearing on the request noted above in the Donald J. Baker Council Chambers at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on Monday, August 10, 2020, at 5:30 p.m., and afterwards is scheduled to consider the recommendations of the Planning and Zoning Commission and take final action on the request.

For additional information related to this request, please contact Mitch Davison, Director of Community Services and Development, 924 Estates Drive, Woodway, Texas (254-772-4050).

*This notice was posted at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on the 23<sup>rd</sup> day of June 2020 at 5:00 p.m.*

  
Donna Barkley, City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (254) 772-4480 or FAX (254) 772-0695 for further information.



APPLICATION TO DEVELOP IN A  
PLANNED DISTRICT  
Lot 13, Block 1, Burnett Addition  
(Dental Clinic)

Cobb Properties, LLC  
5925 Mt. Rockwood Circle  
Waco, TX 76710

BNH Investments, LTD  
375 Stevens Ln.  
McGregor, TX 76657

Woodway Geniuschild LLC  
2604 Anders Ln.  
Plano, TX 75093

Two Cronies, LTD  
P.O. Box 23382  
Waco, TX 76702

Lonnie Olander, et ux  
9609 Fair Circle  
Woodway, TX 76712

Daniel and Mary Beard  
9601 Fair Circle  
Woodway, TX 76712

Anthony and Marie Ann Garcia  
9600 Bryce Dr.  
Woodway, TX 76712

Esmeralda Reyes  
9608 Bryce Dr.  
Woodway, TX 76712

Rachel and John Van Pelt  
9609 Bryce Dr.  
Woodway, TX 76712

George Stauber, et ux  
9601 Bryce Dr.  
Woodway, TX 76712

David and Trisha LaPierre  
9600 Jimmark Circle  
Woodway, TX 76712

Richard Ellis, et ux  
9537 Bryce Dr.  
Woodway, TX 76712

GK and TK Enterprises, LLC  
9500 Casa Grande  
Waco, TX 76712

Jessie Baker and Meredith Sexton  
9519 Bryce Dr.  
Woodway, TX 76712

Larry Davis Storer  
9511 Bryce Dr.  
Woodway, TX 76712

Charles and Brooke Ramsey Living Trust  
Charles and Brooke Ramsey Trustees  
292 Willow Grove Rd.  
Waco, TX 76712

Rachel and Russell Harlow, et al  
306 Sharron Dr.  
Woodway, TX 76712

David and Patricia Agado  
300 Sharron Dr.  
Woodway, TX 76712

Timothy Griesse  
905 Arlington Dr.  
Woodway, TX 76712

Equity Trust Co.  
DBA Sterling Trust Custodian FBO  
Home Abstract Title Account #AO8573  
P.O. Box 21145  
Waco, TX 76702

Nicholas Cobb, DDS PA  
10133 Wildberry Ln.  
Waco, TX 76712

Nicholas Cobb  
113 Burnett Court  
Woodway, TX 76712

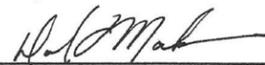
# HEART OF TEXAS SMILES DENTAL CLINIC

## WOODWAY, TEXAS

### DRAWING INDEX

C100	VICINITY MAP
C101	GENERAL NOTES & LEGEND
C200	EXISTING SURVEY
C201	DEMOLITION AND EROSION CONTROL PLAN
C300	SITE PLAN
C301	DIMENSIONAL CONTROL PLAN
C302	GRADING PLAN
C400	UTILITY PLAN
C500	PRE-CONSTRUCTION DRAINAGE AREA MAP
C501	POST-CONSTRUCTION DRAINAGE AREA MAP
C502	DETENTION POND CALCULATIONS
C503	DETENTION POND DETAIL
C504	DRAINAGE PLAN
C600-C610	CIVIL DETAILS

Submitted for Approval:



DAVID L. MAREK, P.E.



12 JUNE 2020

\*THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
DAVID L. MAREK  
#33327  
ON THE DATE SHOWN ON THE DATE STAMP.  
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE  
ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT\*



**CP&Y, INC.**

TEXAS REGISTERED  
ENGINEERING FIRM  
F-1741



REV	DATE	BY	DESCRIPTION	SHEETS MODIFIED
1	6-30-2020	ECM	CITY REVIEW 1	C300-C302, C400, C501-C504, C503



# ABBREVIATIONS

A.R.V.	AIR RELEASE VALVE
BL	BUILDING LINE
BM	BENCHMARK
B.O.C.	BACK OF CURB
B.O.V.	BLOWOFF VALVE
BRG.	BEARING
B.V.	BUTTERFLY VALVE
C-C	CENTER TO CENTER
C.A.V.	COMBINATION AIR RELEASE VALVE
CFS	CUBIC FEET PER SECOND
C.I.	CAST IRON
C.J.	CONTROL JOINT
C	CENTERLINE
CLBM	CRUSHED LIMESTONE BASE MATERIAL
OMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CY	CUBIC YARD
C&G	CONCRETE CURB & GUTTER
CONC.	CONCRETE
CTR.	CENTER
DBL.	DOUBLE
DA	DRAINAGE AREA
D.E.	DRAINAGE EASEMENT
DET.	DETAIL
DIA.	DIAMETER
DIP	DUCTILE IRON PIPE
E	EAST
E.J.	EXPANSION JOINT
EA	EACH
ELEV.	ELEVATION
E.O.P.	EDGE OF PAVEMENT
EQ.	EQUAL
ER	END RETURN
E.W.	EACH WAY
EX.	EXISTING
F.H.	FIRE HYDRANT
FL	FLOW LINE
F.O.C.	FACE OF CURB
FDN.	FOUNDATION
FG	FINISHED GROUND
FT.	FOOT (FEET)
GALV.	GALVANIZED
G.V.	GATE VALVE
GRND.	GROUND
H.P.	HORSE POWER
HW	HEAD WATER
HWL	HIGH WATER LEVEL
HGT.	HEIGHT
HGL	HYDRAULIC GRADE LINE
HMAC	HOT MIXED ASPHALTIC CONCRETE
HZ	HORIZONTAL
I.D.	INSIDE DIAMETER
IN.	INCH
INCL.	INCLUDED (ING)
INV.	INVERT
JT.	JOINT
L	LENGTH
L.F.	LINEAR FOOT
L.O.G.	LIP OF GUTTER
LT.	LEFT
LWL	LOW WATER LEVEL
MTL	MATERIAL
MAX.	MAXIMUM
MED.	MEDIUM
M.H.	MANHOLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.P.	MID POINT
N	NORTH
NG	NATURAL GROUND
N.T.S.	NOT TO SCALE
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OC	ON CENTER
OCBW	ON CENTER EACH WAY
O.D.	OUTSIDE DIAMETER
PC	POINT OF CURVATURE
P.G.L.	PROPOSED GRADE LINE
POB	POINT OF BEGINNING
PRC	POINT OF REVERSE CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
P.U.E.	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INFLECTION
PVT	POINT OF VERTICAL TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RE	REFERENCE
REINF.	REINFORCE(D)
REQ'D	REQUIRED
REV.	REVISION
R.O.W.	RIGHT OF WAY
RP	RADIUS POINT
RT.	RIGHT
S	SOUTH
SAN SEW	SANITARY SEWER
S.D.	STORM DRAIN
SF	SQUARE FOOT
SY	SQUARE YARD
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
STA.	STATION
STD.	STANDARD
SYM.	SYMMETRICAL
SYS.	SYSTEM
TAS	TERMINAL ANCHOR SECTION
TBM	TEMPORARY BENCHMARK
TOP	TOP OF CURB
T.O.B.	TOP OF BANK (BERM)
T.O.G.	TOP OF GRADE
T.O.S.	TOE OF SLOPE
TEL	TELEPHONE
THK.	THICK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.	VELOCITY
VERT.	VERTICAL
W	WEST
W	WITH
W/O	WITHOUT
W.S.E.L.	WATER SURFACE ELEVATION
WT.	WEIGHT

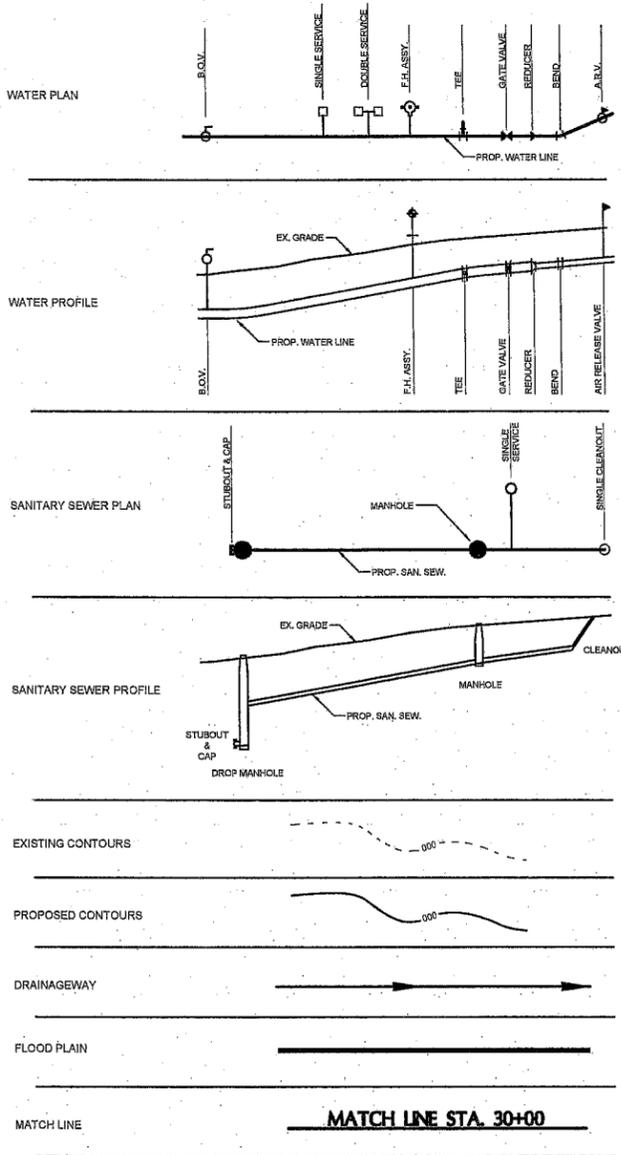
# TOPOGRAPHIC SURVEY LEGEND

●	= 1/2" DIAMETER REBAR FOUND, UNLESS OTHERWISE NOTED
○	= 1/2" DIAMETER REBAR WITH CAP PLACED, UNLESS OTHERWISE NOTED
■	= 1/2" DIAMETER REBAR FOUND IN CONCRETE, UNLESS OTHERWISE NOTED
□	= 1/2" DIAMETER REBAR PLACED IN CONCRETE, UNLESS OTHERWISE NOTED
M.C.D.R.	= McLENNAN COUNTY DEED RECORDS
M.C.O.P.R.	= McLENNAN COUNTY OFFICIAL PUBLIC RECORDS
( )	= DEED CALL/PLATTED CALL
[ ]	= ADJOINER CALL
-W-	= SANITARY SEWER LINE
⊙	= SANITARY SEWER MANHOLE
⊕	= SANITARY SEWER CLEANOUT
-E-	= OVERHEAD ELECTRIC LINE
-U/E-	= UNDERGROUND ELECTRIC LINE
⊕	= POWER POLE
★	= LIGHT POLE
—	= GUY WIRE
TV	= TELEVISION RISER
-T-	= OVERHEAD TELEPHONE LINE
-U/T-	= UNDERGROUND TELEPHONE LINE
TV	= TELEPHONE RISER
⊙	= TELEPHONE MANHOLE
⊕	= STORM SEWER LINE
⊕	= STORM DRAIN MANHOLE
⊕	= GAS LINE
⊕	= GAS METER
-W-	= WATER LINE
⊕	= WATER METER
⊕	= WATER VALVE
⊕	= FIRE HYDRANT
⊕	= WATER SPRINKLER
⊕	= WATER SPRINKLER CONTROL VALVE
⊕	= TEMPORARY BENCHMARK
⊕	= TREE
⊕	= SHRUB
-X-	= FENCE
⊕	= ASPHALT
⊕	= CONCRETE
⊕	= COVERED AREA
- - -	= PROPERTY LINE

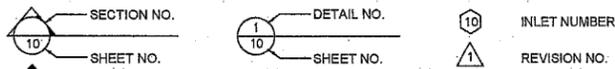
# MATERIALS LEGEND

	GRAVEL
	ROCK RIPRAP, GABIONS
	PAVEMENT
	CONCRETE
	CRUSH LIMESTONE
	SAND
	FILL HORIZONTAL
	NATURAL GROUND
	COMPACTED FILL (SUBGRADE)

# DESIGN LEGEND



# PLAN INFORMATION LEGEND



# BENCH MARK LIST

T.B.M. #	DESCRIPTION
TBM 1:	ELEVATION 662.63' CUT BOX WITH 'X' - AT BURNETT CIRCLE ROUNDABOUT, IN SOUTHWEST CURB RETURN AT SCHOOL ENTRANCE
TBM 4:	ELEVATION 652.41' CUT BOX WITH 'X' - IN TOP OF CURB AT THE EAST SIDE OF FAIRWAY ROAD AND BRYCE DRIVE INTERSECTION

# BASIS OF BEARINGS

THE COORDINATES SHOWN HEREON ARE IN GRID AND BASED ON GPS OBSERVATIONS, AND THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983. ALL DISTANCES AND AREAS SHOWN ARE BASED ON US SURVEY FEET.

# GENERAL NOTES & LEGEND

# GENERAL NOTES

ALL WORK WILL BE DONE IN ACCORDANCE WITH DETAILS & SPECIFICATIONS FOR THIS PROJECT. ANY DEVIATION FROM THE STANDARDS MUST BE SUBMITTED TO THE PROJECT ENGINEER FOR APPROVAL. ALL PUBLIC IMPROVEMENTS INCLUDING STREETS, UTILITIES AND DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS TO CITY OF WOODWAY SUBDIVISION ORDINANCE FOR PUBLIC WORKS CONSTRUCTION.

CONTRACT ADMINISTRATION - THE CONTRACT IS A WRITTEN AGREEMENT BY WHICH THE CONTRACTOR HAS COMMITTED TO COMPLETE THE SPECIFIC SCOPE OF WORK, IN COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, SCHEDULE, AND ALL APPLICABLE LAWS, RULES AND REGULATIONS. COMPENSATION FOR SAID WORK SHALL BE MADE AS DESCRIBED IN THE AGREED UPON PROPOSAL.

ANY REQUEST FOR CHANGE TO THE DESIGN, SCHEDULE, OR PROJECT COST MUST BE MADE IN WRITING AND APPROVED PRIOR TO IMPLEMENTATION.

SUBMITTALS - THE CONTRACTOR SHALL SUBMIT, WITHIN 10 DAYS OF THE EFFECTIVE DATE OF NOTICE TO PROCEED:

THE NAME AND CONTACT INFORMATION OF THE PROJECT SUPERINTENDENT;  
THE NAME AND CONTACT INFORMATION OF THE EMERGENCY CONTACT;  
THE NAME, QUALIFICATIONS, AND CONTACT INFORMATION OF THE SAFETY REPRESENTATIVE(S);  
THE NAME AND CONTACT INFORMATION FOR THE DESIGNATED PROJECT MANAGER FOR THIS CONTRACT.

ENVIRONMENTAL AND SAFETY PLANS  
THE CONTRACTOR SHALL SUBMIT FOR APPROVAL ALL REQUIRED ENVIRONMENTAL AND SAFETY PLANS FOR THE COMPLETION OF THE WORK. THE WORK WILL NOT BE PERMITTED TO BEGIN UNTIL ALL RELATED PLANS HAVE BEEN REVIEWED AND APPROVAL BY THE APPROPRIATE PARTY (IES).

TRAFFIC CONTROL PLAN (TCP) - WHEN REQUIRED, THE CONTRACTOR IS RESPONSIBLE TO SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL. THE PLAN SHALL BE BASED UPON APPLICABLE CITY AND STATE REQUIREMENTS AND ESTABLISHED STANDARDS.

THE CONTRACTOR IS RESPONSIBLE TO MONITOR THE PLAN AS THE WORK PROGRESSES AND SUBMIT MODIFICATIONS FOR APPROVAL AS NEEDED.

THE CONTRACTOR IS ALSO RESPONSIBLE TO INSURE THE INSPECTOR IS PROVIDED A COPY OF THE SIGNED PLAN PRIOR TO BEGINNING WORK.

### TRENCH SAFETY PLANS

WHEN REQUIRED BY THE WORK, THE CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN FOR APPROVAL. THE PLAN SHALL INCLUDE THE RECOMMENDED SAFETY PROTECTION MEASURES WITH THE APPROPRIATE LOADING REQUIREMENTS. THE CONTRACTOR SHALL ENSURE THAT THE PROTECTIVE MEASURES LOCATED ON SITE AND ALL PROCEDURES ON THE PROJECT ARE IN COMPLIANCE WITH ALL ASPECTS OF THE PLAN.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS. ALL RELATED DOCUMENTATION WILL BE MADE AVAILABLE TO THE INSPECTOR ON DAILY BASIS. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL RELATED DOCUMENTATION TO THE OWNER UPON REQUEST.

### STORM WATER POLLUTION PREVENTION PLAN EROSION CONTROL PLAN

THE CONTRACTOR SHALL SUBMIT A STORM WATER POLLUTION PREVENTION PLAN (EROSION CONTROL PLAN) FOR APPROVAL. THE PLAN SHALL BE BASED UPON APPLICABLE CITY, STATE, AND FEDERAL REQUIREMENTS AND ESTABLISHED STANDARDS.

THE CONTRACTOR IS RESPONSIBLE TO MONITOR THE PLAN AS THE WORK PROGRESSES AND SUBMIT MODIFICATIONS FOR APPROVAL AS NEEDED.

THE CONTRACTOR IS ALSO RESPONSIBLE TO ENSURE THE INSPECTOR IS PROVIDED A COPY OF THE SIGNED PLAN PRIOR TO BEGINNING WORK.

### WATER LINES

SHALL HAVE A MINIMUM COVER OF 3.5' BELOW FINISHED STREET GRADE UNLESS OTHERWISE SPECIFIED.

EXISTING FIRE HYDRANTS THAT ARE TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE CITY OF WOODWAY.

### UTILITIES

EXISTING UTILITIES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED FROM UTILITY COMPANY RECORDS AND INVESTIGATION. THE UTILITY LINE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND ARE FURNISHED AS A GUIDE FOR THE CONTRACTOR. THE CONTRACTOR WILL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES BEFORE BEGINNING EXCAVATION.

GAS LINES TO BE RELOCATED OR ADJUSTED BY OTHERS. TELEPHONE LINES TO BE RELOCATED OR ADJUSTED BY OTHERS. UTILITY POLES TO BE RELOCATED BY OTHERS.

THE CONTRACTOR SHALL NOTIFY, (SEE DETAILED LIST BELOW), PRIOR TO STARTING CONSTRUCTION ON ANY STREET IN THE VICINITY OF ANY EXISTING UTILITIES SO THAT ANY ADJUSTMENTS OF EXISTING UTILITIES THAT HAVE NOT PREVIOUSLY BEEN MADE CAN BE MADE PRIOR TO CONSTRUCTION.

THE APPROPRIATE CONTACT PEOPLE FOR UTILITIES ARE AS FOLLOWS:

UTILITY COMPANIES	ONE CALL NOTIFICATION CENTERS
AT&T CALVIN PEWITT - (254) 715-7869	LEVEL THREE COMMUNICATIONS HUGH NIELSEN - (512) 656-4763
ONCOR ELECTRIC DREW CRAWFORD - (254) 750-5249	CITY OF WACO TRAFFIC CONDUIT & ELECTRICAL BILLY DEHART - (254) 749-4087
ATMOS GAS RICK SULAK - (254) 744-0579	TIME WARNER CABLE JOHNNY TINDALE - (254) 761-3806
MCI FRANK WALKER - (254) 753-3442	GRANDE COMMUNICATIONS JOHNNY HUTYRA - (254) 235-2072
CITY OF WOODWAY WATER DISTRIBUTION JOHN NORMAN - (254) 772-4050	CITY OF WOODWAY SANITARY SEWER JOHN NORMAN - (254) 772-4050
MCLEOD USA (PAETEC) TRACY COVINGTON - (512) 934-1469	
	LONESTAR NOTIFICATION CENTER WEBSITE: HTTP://WWW.OCCINC.COM/LOCATIONS/LONE_STAR.ASP (800) 669-8344
	TEXAS EXCAVATION SAFETY SYSTEM WEBSITE: HTTP://WWW.TEXASONECALL.COM (800)DI9-TESS OR (800) 344-8377
	TEXAS ONE CALL SYSTEM WEBSITE: HTTP://WWW.TEXASONECALL.COM (800) 245-4545
	UNDERGROUND PIPELINE (GAS) DAMAGE REPORTING HTTP://WWW.RRC.STATE.TX.US/PROGRAMS/DAMAGEPREVENTION.INDEX.PHP PHONE: (800)460-3030 OR (800)545-8005

# SPECIAL NOTES

- ACCURACY OF EXISTING WATER LINES, GAS LINES, UNDERGROUND TELEPHONE, FIBER OPTIC AND OTHER UTILITIES SHOWN ON THE PLANS SHOULD BE VERIFIED BY THE CONTRACTOR BEFORE DIGGING.
- DEPTHS OF EXISTING UTILITIES IN MOST CASES ARE ASSUMED, AND ARE NOT VERIFIED.
- ALL EXCESS EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILL IS TO BE REMOVED AND DISPOSED OFF SITE BY THE CONTRACTOR, INCLUDING CURB AND GUTTER AND DRIVE APPROACHES.
- ALL IMPROVEMENTS REMOVED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED OR RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL TESTING MUST BE IN ACCORDANCE WITH CURRENT (TCEQ) REGULATIONS.
- EXCAVATION IN EXISTING DRIVEWAYS SHALL BE BACKFILLED AND REPAIRED TO EXISTING CONDITION.
- CONTRACTOR SHALL SHAPE EMBEDMENT MATERIAL TO ACCOMMODATE THE BELLED JOINTS OF PIPES TO INSURE SUPPORT THROUGHOUT THEIR LENGTHS. BELLED JOINTS SHALL HAVE A MINIMUM OF 2" OF FILL BENEATH THEM.
- IF EXCAVATED MATERIAL IS NOT ACCEPTABLE TO THE ENGINEER FOR BACKFILL, THE CONTRACTOR SHALL PROVIDE SELECT IMPORT MATERIAL AS REQUIRED. ALL BACKFILL MATERIAL IS SUBSIDIARY TO THE PRICE OF PIPE IN PLACE.
- MAX JOINT DEFLECTION SHALL BE HALF THE MANUFACTURER RECOMMENDED MAXIMUM.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE REVEGETATED. REVEGETATION OF ALL DISTURBED OR EXPOSED AREAS SHALL CONSIST OF SODDING, SEEDING OR HYDROMULCH, AT THE CONTRACTORS OPTION. HOWEVER, REVEGETATION MUST BE EQUAL OR EXCEED THE TYPE OF VEGETATION PRESENT BEFORE CONSTRUCTION. REVEGETATION SHALL BE SUBSIDIARY TO INSTALLATION OF PIPELINE AND NOT AN ADDITIONAL PAY ITEM.
- MECHANICAL EQUIPMENT ON THE ROOF, GROUND OR BUILDING SHALL BE LOCATED OR SCREENED COMPLETELY FROM VIEW WHEN OBSERVED FROM 8' ABOVE GROUND LEVEL AT ANY POINT ALONG THE PROPERTY LINE ADJACENT TO AND ABUTTING EACH PUBLIC STREET RIGHT OF WAY AND LOCATED OR SCREENED SO AS NOT TO BE VISIBLE WHEN OBSERVED FROM 8' ABOVE GROUND LEVEL AT ANY POINT ALONG THE PROPERTY LINE OF A RESIDENTIAL AREA ADJACENT TO AND ABUTTING ANY RESIDENTIAL AREA. MECHANICAL EQUIPMENT SELECTED FOR INSTALLATION SHALL NOT BE OFFENSIVE OR CREATE A NUISANCE WITH REGARD TO NOISE, ODOR OR DUST.



DATE: 06-12-2020  
NAME: [Signature]

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ON THE DATES SHOWN ON THE STAMP, ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT



# KEY PLAN

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

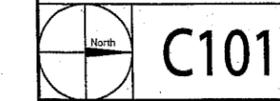
DATE	ISSUED FOR

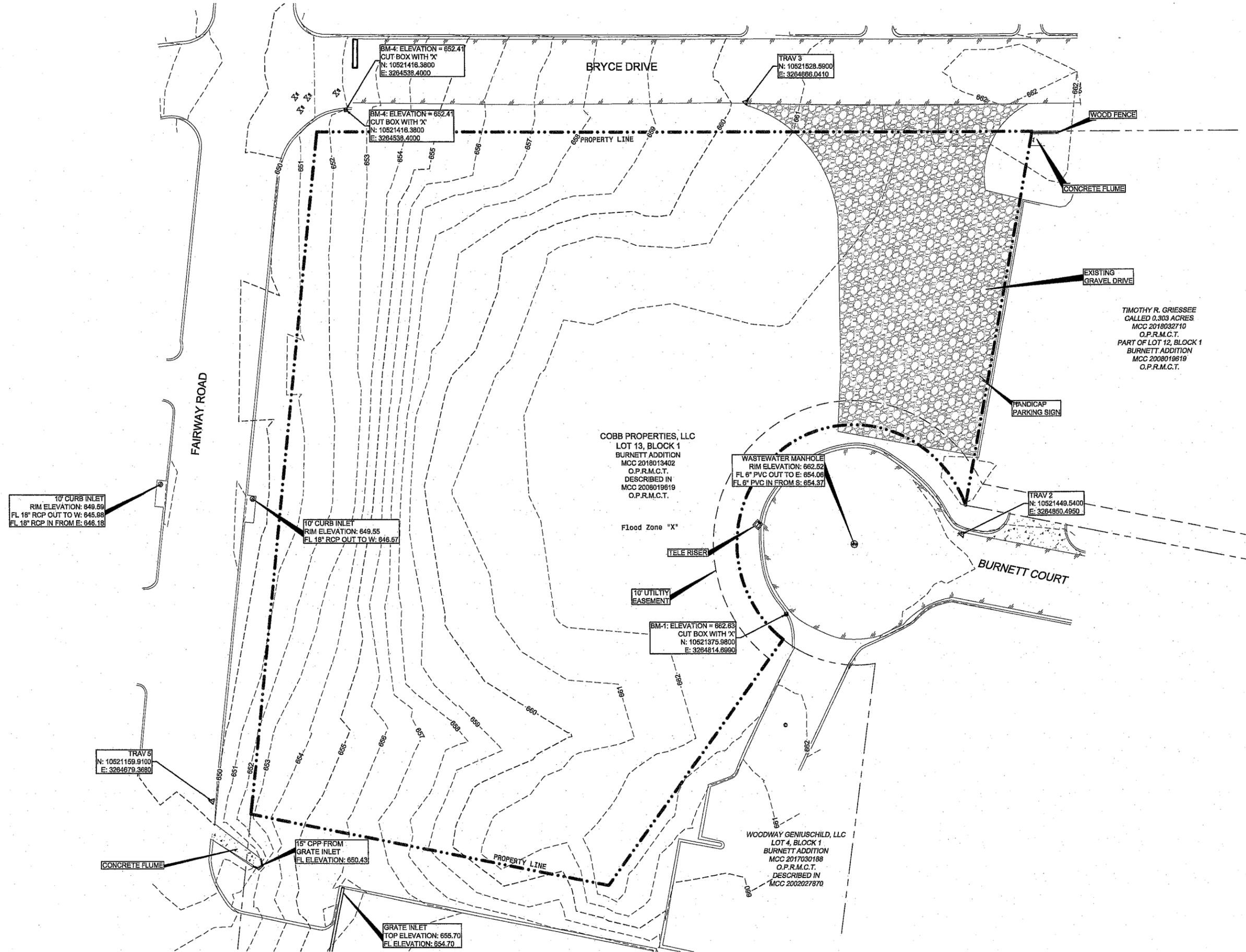


TEXAS REGISTERED ENGINEERING FIRM F-1741

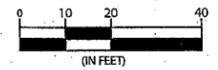
PROJ. # HTSS1900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

# GENERAL NOTES & LEGEND





06-12-2020  
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**KEY PLAN**

TIMOTHY R. GRIESSEE  
 CALLED 0.303 ACRES  
 MCC 2018032710  
 O.P.R.M.C.T.  
 PART OF LOT 12, BLOCK 1  
 BURNETT ADDITION  
 MCC 2008019619  
 O.P.R.M.C.T.

COBB PROPERTIES, LLC  
 LOT 13, BLOCK 1  
 BURNETT ADDITION  
 MCC 2018013402  
 O.P.R.M.C.T.  
 DESCRIBED IN  
 MCC 2008019619  
 O.P.R.M.C.T.

Flood Zone "X"

WASTEWATER MANHOLE  
 RIM ELEVATION: 662.52  
 FL 6" PVC OUT TO E: 654.08  
 FL 6" PVC IN FROM S: 654.37

TRAV 2  
 N: 10521449.5400  
 E: 3284850.4950

BM-1: ELEVATION = 662.63  
 CUT BOX WITH 'X'  
 N: 10521375.9800  
 E: 3284814.8990

WOODWAY GENIUSCHILD, LLC  
 LOT 4, BLOCK 1  
 BURNETT ADDITION  
 MCC 2017030188  
 O.P.R.M.C.T.  
 DESCRIBED IN  
 MCC 2002027870

10' CURB INLET  
 RIM ELEVATION: 649.59  
 FL 18" RCP OUT TO W: 645.88  
 FL 18" RCP IN FROM E: 646.18

10' CURB INLET  
 RIM ELEVATION: 649.55  
 FL 18" RCP OUT TO W: 646.57

TRAV 5  
 N: 10521159.9100  
 E: 3284679.3680

15' CPP FROM  
 GRATE INLET  
 FL ELEVATION: 650.43

GRATE INLET  
 TOP ELEVATION: 655.70  
 FL ELEVATION: 654.70

**1 EXSITING SURVEY**  
 SCALE: 1" = 20'

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR



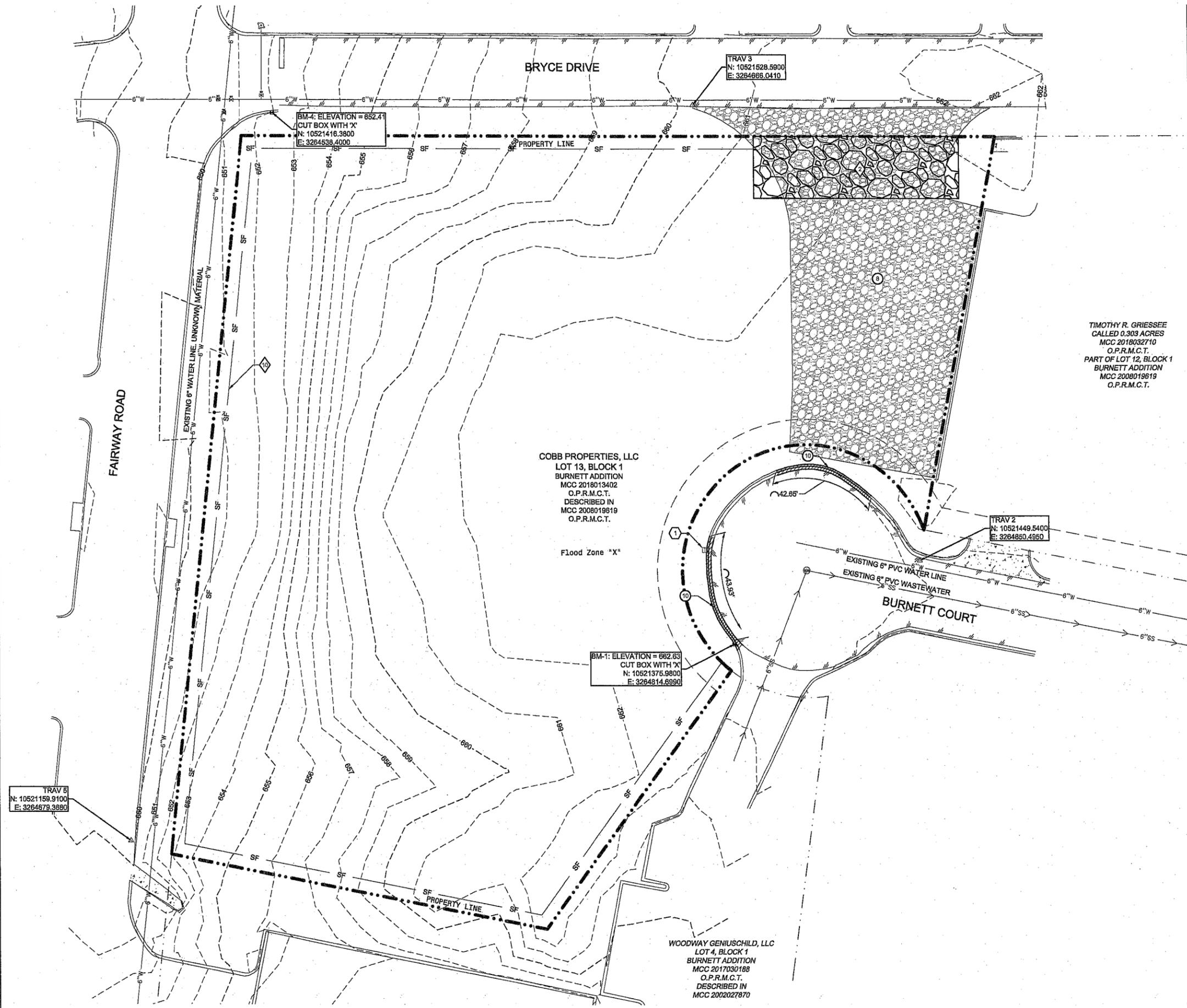
CP&Y, INC.  
 TEXAS REGISTERED  
 ENGINEERING FIRM  
 F-1741

PROJ. # HTSS1900768 PM: DLM  
 CK. BY: DLM DN. BY: ECM

EXISTING SURVEY



**C200**



- ### DEMOLITION CALLOUTS
- 8 CRUSHED LIMESTONE BASE MATERIAL (ALL DEPTHS) TO BE REMOVED AND DISPOSED OFF-SITE. CONTRACTOR TO PROVIDE NECESSARY EXCAVATION AND/OR PLACEMENT OF SELECT FILL TO ACHIEVE DESIGN SUBGRADE (COST TO BE SUBSIDIARY TO BID ITEM)
  - 10 CONCRETE CURB OR CURB & GUTTER (ALL TYPES) TO BE SAWCUT, REMOVED, AND DISPOSED OFF-SITE. CONTRACTOR TO REMOVE HMA&C AND BASE NECESSARY FOR CURB AND GUTTER CONSTRUCTION. COST TO BE SUBSIDIARY TO CURB REMOVAL BID ITEM.

- ### EROSION CONTROL CALLOUTS
- 2 CONSTRUCTION ENTRANCE
  - 10 SILT FENCE

### SPECIAL PROJECT NOTE

- 1 CONTRACTOR TO COORDINATE RELOCATION OF TELEPHONE RISER WITH PRIVATE UTILITY SUPPLIER.

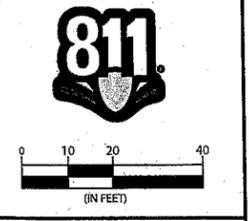
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**!!!WARNING!!!**  
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DATE: 05-12-2020  
NAME: [Signature]

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### KEY PLAN



HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

DATE	ISSUED FOR

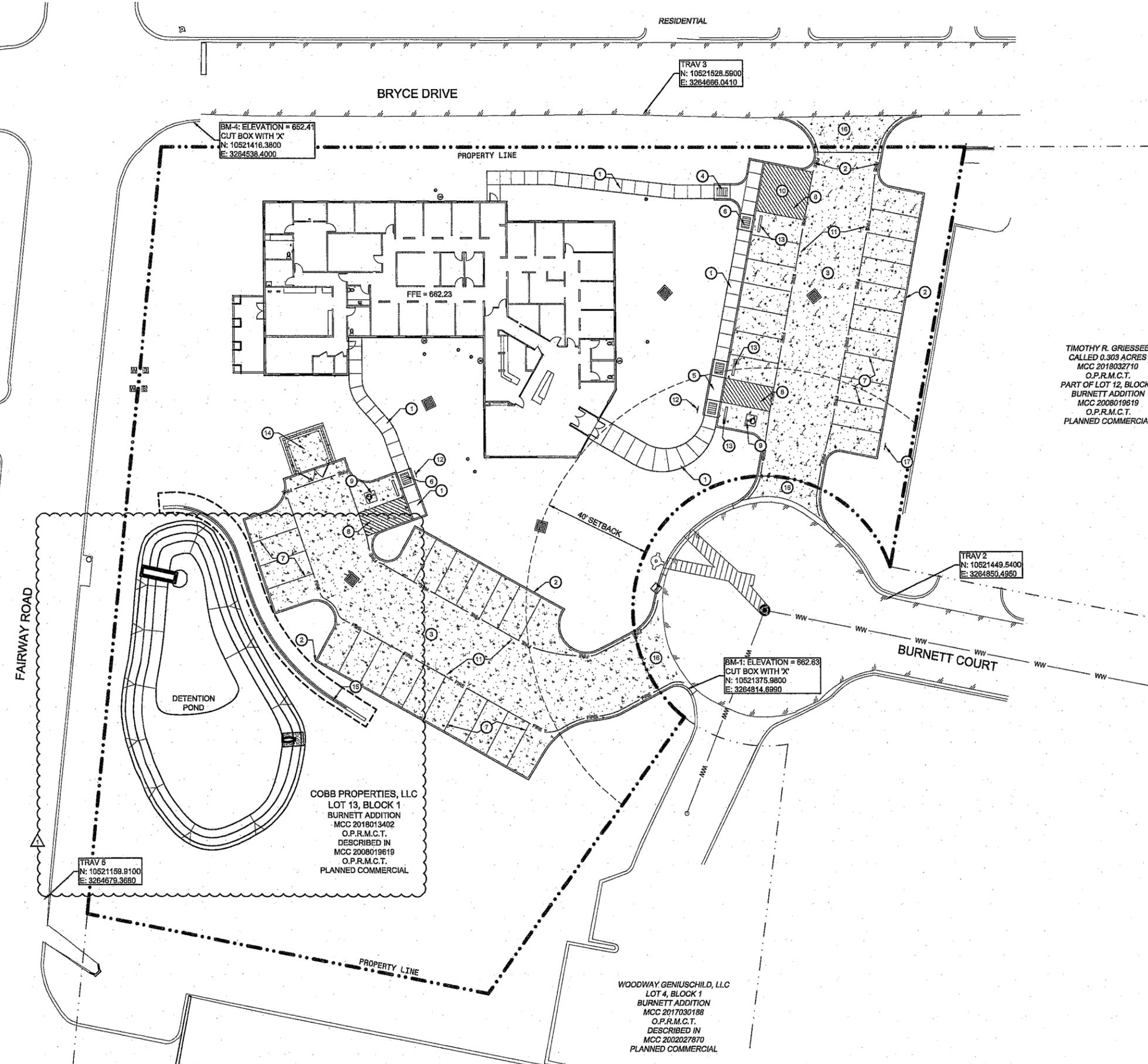


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CK. BY: DLM DN. BY: ECM

### DEMOLITION & EROSION CONTROL PLAN

C201

**1 DEMOLITION & EROSION CONTROL PLAN**  
SCALE: 1" = 20'



TRAV 3  
N: 10521528.5900  
E: 3264666.0410

BM-4: ELEVATION = 662.41  
CUT BOX WITH 'X'  
N: 10521416.3800  
E: 3264538.4000

TRAV 2  
N: 10521449.5400  
E: 3264850.4950

BM-1: ELEVATION = 662.63  
CUT BOX WITH 'X'  
N: 10521375.9800  
E: 3264814.6990

TRAV 5  
N: 10521159.8100  
E: 3264679.3680

BRYCE DRIVE

FAIRWAY ROAD

BURNETT COURT

FFE = 662.23

COBB PROPERTIES, LLC  
LOT 13, BLOCK 1  
BURNETT ADDITION  
MCC 2018013402  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2008019619  
O.P.R.M.C.T.  
PLANNED COMMERCIAL

WOODWAY GENIUSCHILD, LLC  
LOT 4, BLOCK 1  
BURNETT ADDITION  
MCC 2017030188  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2002027870  
PLANNED COMMERCIAL

TIMOTHY R. GRIESSEE  
CALLED 0.303 ACRES  
MCC 2018032710  
O.P.R.M.C.T.  
PART OF LOT 12, BLOCK 1  
BURNETT ADDITION  
MCC 2008019619  
O.P.R.M.C.T.  
PLANNED COMMERCIAL

**SITE CALLOUTS**

- 1 REINFORCED CONCRETE SIDEWALK  
MAXIMUM CROSS SLOPE: 2%  
MAXIMUM RUN: 5.0%
- 2 INTEGRAL CONCRETE CURB
- 3 REINFORCED CONCRETE PAVING
- 4 TXDOT TYPE 1 ACCESSIBLE RAMP W/O  
WINGS, W/O DETECTIBLE WARNINGS
- 5 TXDOT TYPE 2 ACCESSIBLE RAMP W/O  
DETECTIBLE WARNINGS
- 6 TXDOT TYPE 10 ACCESSIBLE RAMP W/O  
DETECTIBLE WARNINGS
- 7 REFL PAV MRK TY 1 (W) 4" (SLD) (100 MIL)
- 8 REFL PAV MRK TY 1 (B) 4" (SLD) (100 MIL)  
SPACING: 24"
- 9 REFL PAV MRK TY 1: ACCESSIBLE  
PARKING (LARGE)
- 10 REFL PAV MRK TY 1 (W) 4" (SLD) (100 MIL)  
SPACING: 24" (DENOTES PATIENT  
PICKUP)
- 11 FIRE LANE MARKINGS PER CITY OF  
WOODWAY FIRE DEPARTMENT  
STANDARDS
- 12 VAN ACCESSIBLE PARKING SIGNAGE,  
INSTALLED ON 2-3/8" Ø GALVANIZED  
STEEL POST
- 13 CONCRETE WHEELSTOP
- 14 REINFORCED CONCRETE DUMPSTER  
PAD, CONCRETE BLOCK SCREENING  
AND GATED ENCLOSURE
- 15 REINFORCED CONCRETE RETAINING  
WALL WITH GALVANIZED STEEL  
GUARDRAIL, AS REQUIRED
- 16 REINFORCED CONCRETE DRIVE  
APPROACH  
MINIMUM THICKNESS : 8"
- 17 INCIDENTAL DELIVERY SIGN

**OFF-STREET PARKING TABLE**

BUILDING AREA	
OFFICE	8,890 SF
CITY ORDINANCE REQUIREMENTS	
OFFICE	1 SP/300 SF
REQUIRED PARKING	
TOTAL SPACES	30
ADA SPACES	2
PROVIDED PARKING	
TOTAL SPACES	41
ADA SPACES	2

**SITE CHARACTERISTICS**

ZONING	PLANNED COMMERCIAL
PERVIOUS AREA (S.F.)	44,996 S.F.
IMPERVIOUS AREA (S.F.)	26,434 S.F.
% PERVIOUS	63.0%
% IMPERVIOUS	37.0%

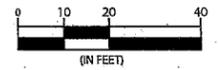
**!!!CAUTION!!!**  
EXISTING OVERHEAD UTILITIES IN VICINITY.  
CONTRACTOR SHALL EXERCISE EXTREME  
CAUTION WHEN WORKING NEAR ELECTRIC  
FACILITIES.

**!!!WARNING!!!**  
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FOR THE ACCURACY OF THE LOCATION OF  
UNDERGROUND UTILITIES. THE CONTRACTOR  
SHALL BE RESPONSIBLE FOR LOCATION AND  
AVOIDING ALL EXISTING UTILITIES BY CALLING  
THE 'ONE CALL' LOCATOR SERVICE AT  
(800)344-8377 AT LEAST 48 HOURS PRIOR TO  
CONSTRUCTION.



06-12-2020  
DATE NAME

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DAVID L. MAREK  
#99337  
ON THE DATE SHOWN ON THE STAMP.  
ALTERATION OF A SEALED DOCUMENT WITHOUT  
PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER  
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PRACTICE ACT"



**KEY PLAN**

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

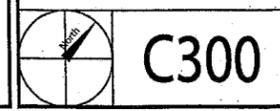
DATE	ISSUED FOR
6-30-20	CITY REVIEW 1



TEXAS REGISTERED  
ENGINEERING FIRM  
F-1741

PROJ. # HTSS1900768 PM: DLM  
CK. BY: DLM DN. BY: ECM

**SITE PLAN**

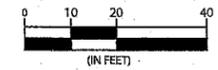


1 SITE PLAN  
SCALE: 1" = 20'



DATE: 06-12-2020  
NAME: [Signature]

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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
8-30-20	CITY REVIEW 1



CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

PROJ. # HTSS1900768 PM: DLM  
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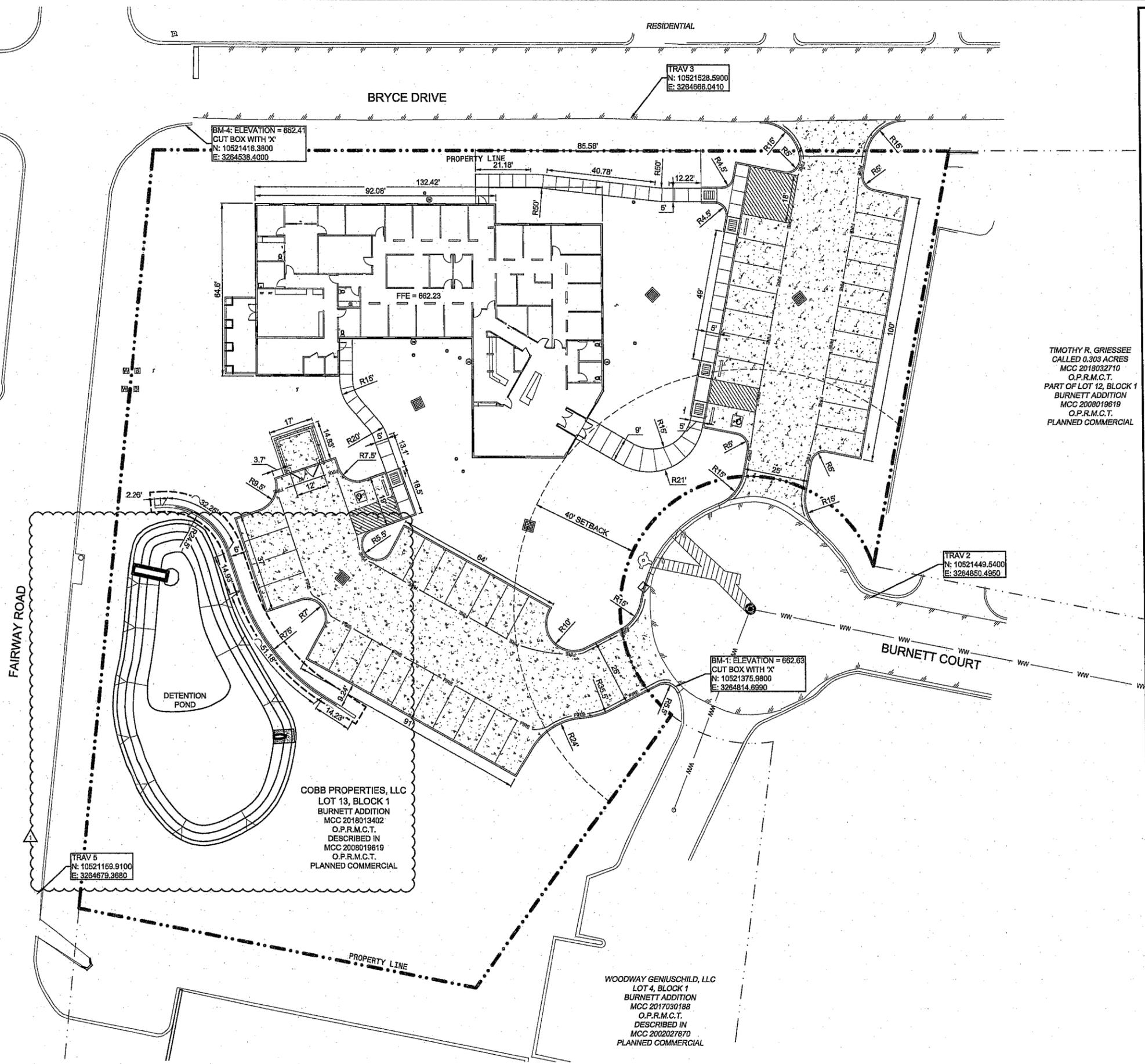
DIMENSIONAL CONTROL PLAN



C301

**!!!CAUTION!!!**  
EXISTING OVERHEAD UTILITIES IN VICINITY. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES.

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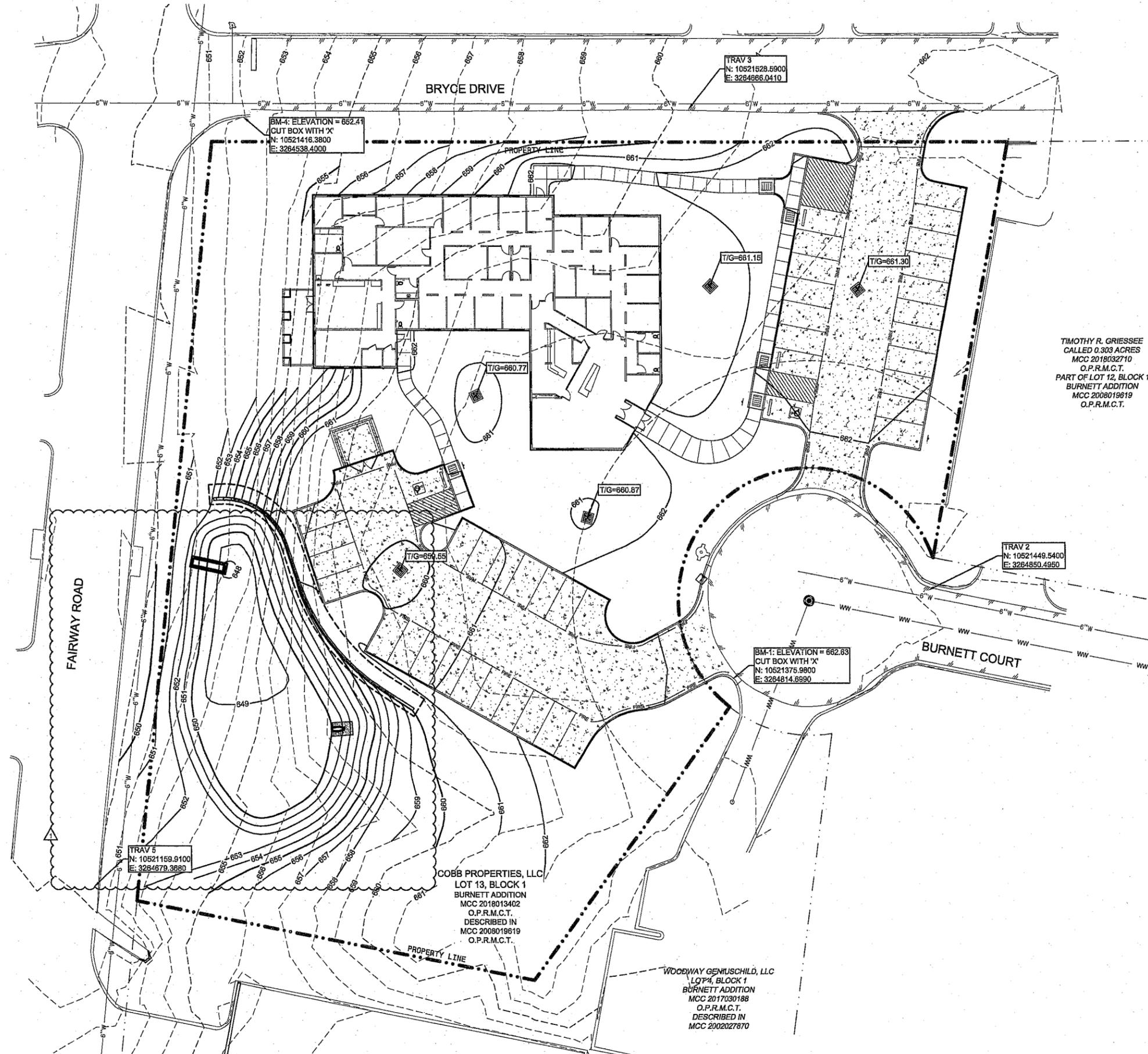


TIMOTHY R. GRIESSEE  
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O.P.R.M.C.T.  
PART OF LOT 12, BLOCK 1  
BURNETT ADDITION  
MCC 2008019619  
O.P.R.M.C.T.  
PLANNED COMMERCIAL

COBB PROPERTIES, LLC  
LOT 13, BLOCK 1  
BURNETT ADDITION  
MCC 2018013402  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2008019619  
O.P.R.M.C.T.  
PLANNED COMMERCIAL

WOODWAY GENIUSCHILD, LLC  
LOT 4, BLOCK 1  
BURNETT ADDITION  
MCC 2017030188  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2002027670  
PLANNED COMMERCIAL

1 DIMENSIONAL CONTROL PLAN  
SCALE: 1" = 20'



**1 GRADING PLAN**  
SCALE: 1" = 20'

TIMOTHY R. GRIESSEE  
CALLED 0.303 ACRES  
MCC 2018032710  
O.P.R.M.C.T.  
PART OF LOT 12, BLOCK 1  
BURNETT ADDITION  
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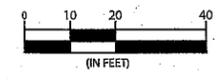
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LOT 13, BLOCK 1  
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MCC 2018013402  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2008019619  
O.P.R.M.C.T.

WOODWAY GENUSCHILD, LLC  
LOT 14, BLOCK 1  
BURNETT ADDITION  
MCC 2017030188  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2002027870



DATE: 06-12-2020  
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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
6-30-20	CITY REVIEW 1



**CP&Y, INC.**

TEXAS REGISTERED ENGINEERING FIRM  
F-1741

PROJ. # HT551900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

GRADING PLAN

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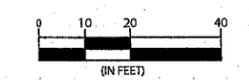
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**C302**



05-12-2020  
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KEY PLAN

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

DATE	ISSUED FOR
6-30-20	CITY REVIEW 1



TEXAS REGISTERED ENGINEERING FIRM F-1741  
PROJ. # HTSS1900768 PM: DLM  
CK. BY: DLM DN. BY: ECM

UTILITY PLAN  
C400

DOMESTIC WATER CALLOUTS

- 5 TERMINATE SERVICE 5' FROM BUILDING ENVELOPE. CONTINUATION TO UNDERFLOOR PLUMBING. SEE MEP PLANS
- 7 FIRE HYDRANT ASSEMBLY
- 8 REMOVE EXISTING CAP & THRUST BLOCK. CONNECT TO 6" C-900 PVC WATER LINE
- 9 2" SCH 40 PVC SERVICE, MIN COVER: 3.5'
- 20 6" RESILIENT SEAT GATE VALVE, VALVE BOX, AND LID
- 37 2" COMMERCIAL SERVICE INSTALLED PER CITY OF WOODWAY STANDARDS
- 40 1-1/2" DOMESTIC METER INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 45 1-1/2" BACKFLOW INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 64 POTHOLE EXISTING WATER LINE TO DETERMINE LOCATION AND ELEVATION PRIOR TO CONSTRUCTION

IRRIGATION CALLOUTS

- 5 2" SCH 40 PVC IRRIGATION SERVICE, MIN COVER: 3'
- 45 2" IRRIGATION SERVICE INSTALLED PER CITY OF WOODWAY STANDARDS
- 20 1-1/2" IRRIGATION METER INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 40 1-1/2" BACKFLOW INSTALLED IN METER BOX INCLUDING NECESSARY FITTINGS TO TRANSITION SERVICE
- 64 POTHOLE EXISTING WATER LINE TO DETERMINE LOCATION AND ELEVATION PRIOR TO CONSTRUCTION
- 70 TERMINATE SERVICE. CONNECT TO IRRIGATION LINES. SEE LA PLANS

WASTEWATER CALLOUTS

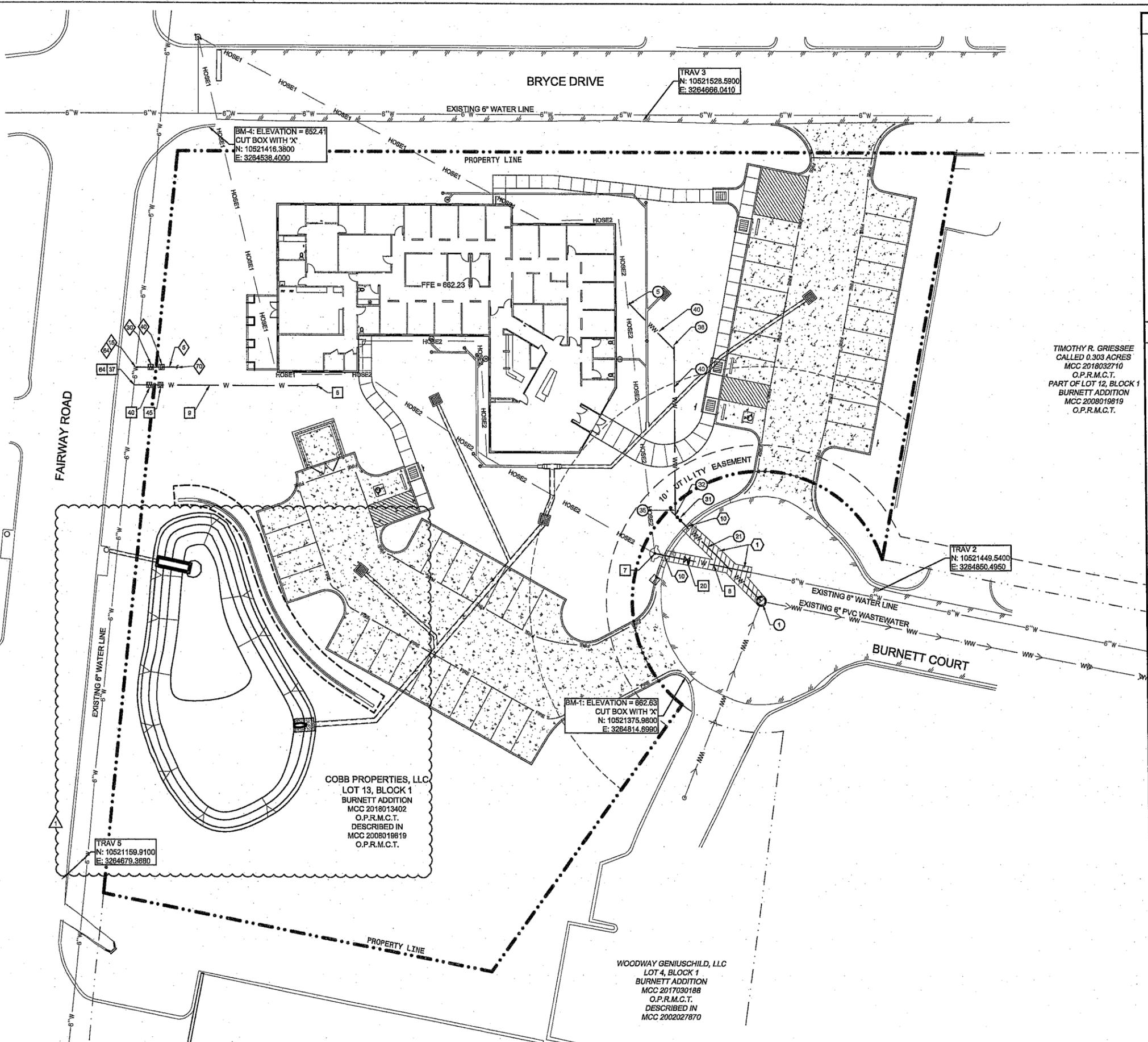
- 1 CORE EXISTING MANHOLE AND CONNECT PROPOSED SERVICE. RESHAPE INSIDE OF MANHOLE AS NEEDED. FL 6" IN (W) = 654.16 EXIST. FL 6" IN (S) = 654.37 EXIST. FL 6" OUT (E) = 654.06
- 5 TERMINATE SERVICE 5' FROM BUILDING ENVELOPE. CONTINUATION TO UNDERFLOOR PLUMBING. SEE MEP PLANS
- 21 6" COMMERCIAL SERVICE INSTALLED PER CITY OF WOODWAY STANDARDS
- 31 6" DOUBLE CLEANOUT PER CITY OF WOODWAY STANDARDS FL = 654.74
- 32 6" X 6" SCH 40 PVC 45° WYE
- 35 6" X 4" SCH 40 PVC REDUCER
- 38 4" SCH 40 PVC 45° WYE & END OF LINE CLEANOUT
- 40 4" SCH 40 PVC SEWER SERVICE @ 1% MIN GRADE

MISCELLANEOUS CALLOUTS

- 1 CLASS 'A' SURFACE REPLACEMENT
- 10 5 LF CURB AND GUTTER REPLACEMENT

!!!CAUTION!!!  
EXISTING OVERHEAD UTILITIES IN VICINITY. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES.

!!!WARNING!!!  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE 'ONE CALL' LOCATOR SERVICE AT (800)344-8377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.



1 UTILITY PLAN  
SCALE: 1" = 20'

TIMOTHY R. GRIESSEE  
CALLED 0.303 ACRES  
MCC 2018032710  
O.P.R.M.C.T.  
PART OF LOT 12, BLOCK 1  
BURNETT ADDITION  
MCC 2008019819  
O.P.R.M.C.T.

BM-4: ELEVATION = 652.41  
CUT BOX WITH 'X'  
N: 10521416.3800  
E: 3284538.4000

TRAV 3  
N: 10521528.5900  
E: 3284666.0410

TRAV 2  
N: 10521449.5400  
E: 3284850.4960

BM-1: ELEVATION = 662.63  
CUT BOX WITH 'X'  
N: 10521375.9800  
E: 3284814.8990

TRAV 5  
N: 10521159.9100  
E: 3284679.3690

COBB PROPERTIES, LLC  
LOT 13, BLOCK 1  
BURNETT ADDITION  
MCC 2018013402  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2008019819  
O.P.R.M.C.T.

WOODWAY GENIUSCHILD, LLC  
LOT 4, BLOCK 1  
BURNETT ADDITION  
MCC 2017030188  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2002027870



BM-4: ELEVATION = 652.41  
CUT BOX WITH 'X'  
N: 10521416.3800  
E: 3284536.4000

TRAV 3  
N: 10521528.5900  
E: 3284966.0410

TRAV 2  
N: 10521449.5400  
E: 3284850.4950

BM-1: ELEVATION = 662.63  
CUT BOX WITH 'X'  
N: 10521375.6800  
E: 3284814.6990

TRAV 5  
N: 10521159.9100  
E: 3284679.3680

AREA	
1.93	0.35
3.82	2.58
5.66	3.82
7.74	5.23

WOODWAY GENIUSCHILD, LLC  
LOT 4, BLOCK 1  
BURNETT ADDITION  
MCC 2017030188  
O.P.R.M.C.T.  
DESCRIBED IN  
MCC 2002027870

**T<sub>c</sub> Calculation for Subbasins**

OVERLAND SHEET FLOW - KERBY EQUATION (t <sub>1</sub> )	SHALLOW CONCENTRATED FLOW - TR55 FIGURE 3-1 (t <sub>2</sub> )	OPEN CHANNEL OR STORM SEWER FLOW (t <sub>3</sub> )	
T <sub>c</sub> = 0.83 (Ln / (S) <sup>0.5</sup> ) <sup>0.467</sup>	Unpaved: V = 16.1345 (S) <sup>0.5</sup> Paved: V = 20.3282 (S) <sup>0.5</sup>	V = (1.49/n) R <sup>2/3</sup> (S) <sup>0.5</sup>	
<b>Kerby 'n' Choices:</b>	<b>Shallow Concentrated Calculator Based on Land Cover:</b> (Enter slope to find velocity on either unpaved or paved surface)	Calculate velocity with Manning's Equation (using external means) assuming bank full channel or full flow pipe	
0.02 Smooth impervious surface 0.1 Smooth bare packed soil 0.2 Poor grass, cultivated row crops or modestly rough bare surface 0.4 Pasture or average grass cover 0.6 Deciduous Timberland 0.8 Conifer timberland, deciduous timberland with deep forest litter or dense grass	S (%) V (FT/S) Unpaved 4.34 3.35 Paved 1 2.03		
OVERLAND SHEET FLOW - KERBY EQUATION (t <sub>1</sub> )	SHALLOW CONCENTRATED FLOW - TR55 FIGURE 3-1 (t <sub>2</sub> )	OPEN CHANNEL OR STORM SEWER FLOW (t <sub>3</sub> )	TOTAL T <sub>c</sub>
SUBBASIN NO.	n L S t <sub>1</sub>	L S V t <sub>2</sub>	L V t <sub>3</sub> T <sub>c</sub>
	(FT) (%) (MIN)	(FT) (%) (FT/S) (MIN)	(FT) (FT/S) (MIN) (MIN)
1	0.25 330 3.90 13.9		

**LEGEND**

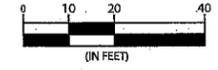
SUBBASIN	
AREA	C
i <sub>2</sub>	Q <sub>2</sub>
i <sub>10</sub>	Q <sub>10</sub>
i <sub>100</sub>	Q <sub>100</sub>

AREA = AREA (ACRES)  
C = RUNOFF COEFFICIENT  
i<sub>2</sub> = 2 YR RUNOFF COEFFICIENT  
i<sub>10</sub> = 10 YR RUNOFF COEFFICIENT  
i<sub>100</sub> = 100 YR RUNOFF COEFFICIENT  
Q<sub>2</sub> = 2 YR STORM WATER RUNOFF  
Q<sub>10</sub> = 10 YR STORM WATER RUNOFF  
Q<sub>100</sub> = 100 YR STORM WATER RUNOFF



06-12-2020  
DATE NAME

"THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK #85327 ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT."



**KEY PLAN**

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

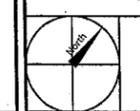
DATE	ISSUED FOR



CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

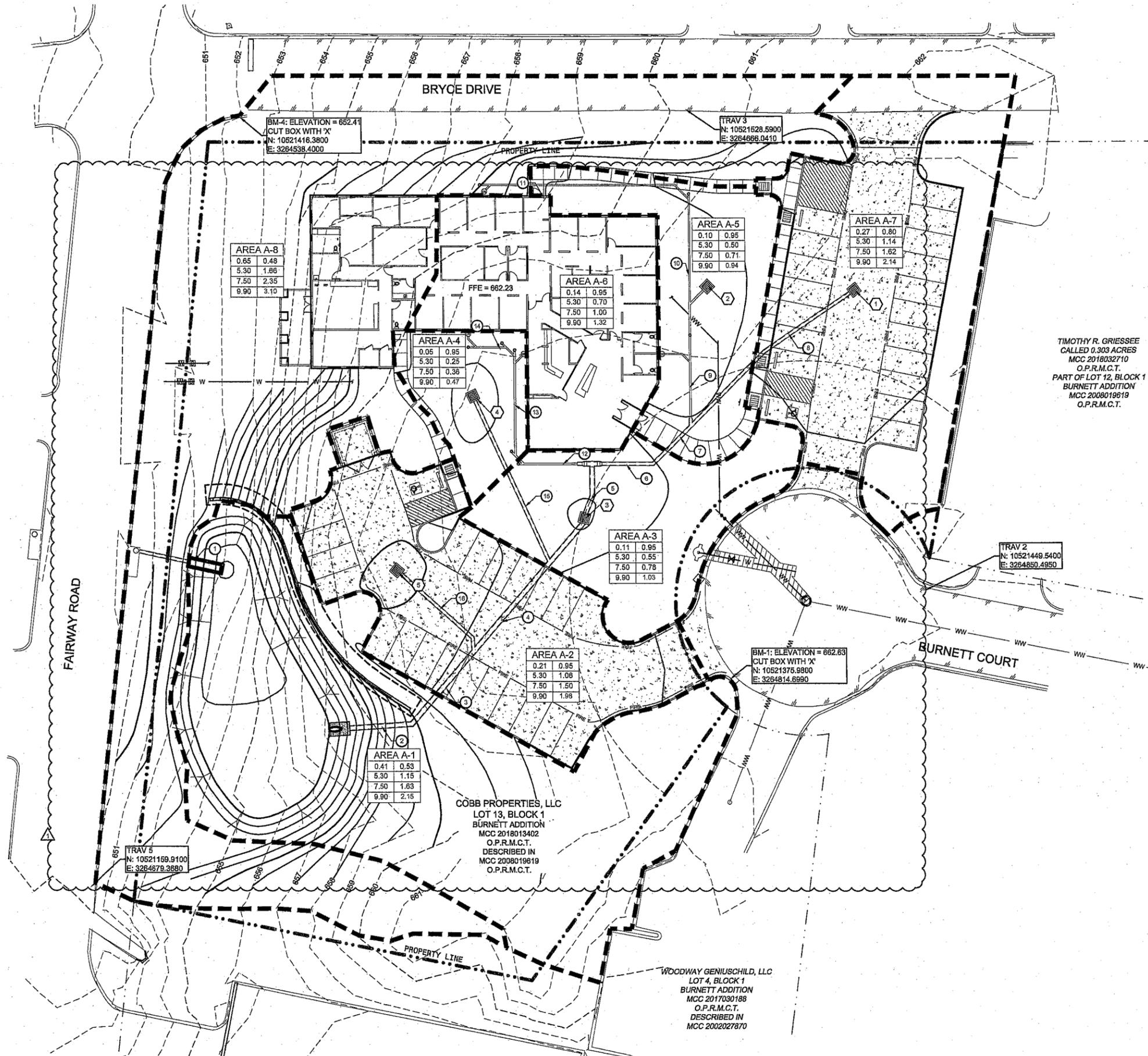
PROJ # HTSS1900768 PM: DLM  
CK BY: DLM DN BY: ECM

**PRE CONSTRUCTION DRAINAGE AREA MAP**



C500

**1 PRE CONSTRUCTION DRAINAGE AREA MAP**  
SCALE: 1" = 20'



**LEGEND**

SUBBASIN	
AREA	C
$\frac{1}{2}$	$Q_2$
$h_0$	$Q_{10}$
$h_{100}$	$Q_{100}$

AREA = AREA (ACRES)  
 C = RUNOFF COEFFICIENT  
 $h_2$  = 2 YR RUNOFF COEFFICIENT  
 $h_{10}$  = 10 YR RUNOFF COEFFICIENT  
 $h_{100}$  = 100 YR RUNOFF COEFFICIENT  
 $Q_2$  = 2 YR STORM WATER RUNOFF  
 $Q_{10}$  = 10 YR STORM WATER RUNOFF  
 $Q_{100}$  = 100 YR STORM WATER RUNOFF

- (A) INLET
- (B) PIPE/STORM DRAIN

**COMPOSITE 'C' CALCULATIONS**

AREA A-1	
IMP. (C=0.95)	0.12
PER. (C=0.35)	0.29
<b>C=</b>	<b>0.53</b>

AREA A-7	
IMP. (C=0.95)	0.20
PER. (C=0.35)	0.07
<b>C=</b>	<b>0.80</b>

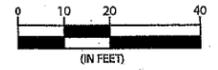
  

AREA A-8	
IMP. (C=0.95)	0.14
PER. (C=0.35)	0.50
<b>C=</b>	<b>0.48</b>

TIMOTHY R. GRIESSEE  
 CALLED 0.303 ACRES  
 MCC 2018032710  
 O.P.R.M.C.T.  
 PART OF LOT 12, BLOCK 1  
 BURNETT ADDITION  
 MCC 2008019619  
 O.P.R.M.C.T.



DATE: 06-12-2020  
 NAME: [Signature]  
 THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK 863327  
 ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT



**KEY PLAN**

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
8-30-20	CITY REVIEW 1



TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

**POST CONSTRUCTION DRAINAGE AREA MAP**

NOTE: TIME OF CONCENTRATION = 10 MIN FOR POST DEVELOPED CONDITIONS FOR ALL SUBBASINS



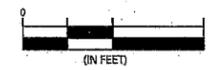
**C501**

**1 POST CONSTRUCTION DRAINAGE AREA MAP**  
 SCALE: 1" = 20'



06-12-2020  
DATE NAME

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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR
8-30-20	CITY REVIEW 1

**CP&Y**  
CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

PROJ. # HTTS1900768 PM: DLM  
CK. BY: DLM DN. BY: ECM

DETENTION POND CALCULATIONS



C502

**DETENTION POND SIZING**  
HEART OF TEXAS SMILES

PROJECT: HTTS1900768 DATE: 06/29/20  
PARAMETER: Outflow = 2.14 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-100 Yr Storm

EXISTING CONDITIONS		Q <sub>100</sub>	
Area*	1.934 Acres		
Runoff Coefficient*	0.35		
Time of Concentration*	13.9 Min		
Rainfall Intensity	7.74 in/hr		
Allowable Flow	5.24 cfs		

DEVELOPED CONDITIONS (DIR.)		Q <sub>100</sub>		AREA	
Area*	0.655 Acres	IMP. (C=0.95)	0.139		
Runoff Coefficient*	0.48	PER. (C=0.35)	0.516		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	9.9 in/hr			C=	0.477
Developed Flows	3.10 cfs				

DEVELOPED CONDITIONS (IND.)		Q <sub>100</sub>		AREA	
Area*	1.279 Acres	IMP. (C=0.9)	0.927		
Runoff Coefficient*	0.75	PER. (C=0.35)	0.352		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	9.9 in/hr			C=	0.749
Developed Flows	9.48 cfs				

A	B	C	(A°C <sup>80</sup> )	(Cd)(Tcd+A)/2(60)	Inflow	Outflow	Storage
5.0	9.90	9.48	2.544	643	2.201		
10.0	8.60	8.23	4.941	955	3.975		
15.0	7.50	7.18	6.483	1,286	5,177		
20.0	6.80	6.51	7,813	1,608	6,205		
25.0	6.25	5.98	8,977	1,930	7,047		
30.0	5.80	5.55	9,996	2,251	7,745		
35.0	5.40	5.17	10,858	2,573	8,285		
40.0	5.15	4.93	11,835	2,894	8,940		
45.0	4.90	4.69	12,688	3,216	9,482		
50.0	4.65	4.45	13,357	3,538	9,920		
55.0	4.42	4.23	13,985	3,859	10,107		
60.0	4.25	4.07	14,550	4,181	10,469		
65.0	4.03	3.88	15,049	4,502	10,547		
70.0	3.90	3.73	15,684	4,824	10,860		
75.0	3.72	3.56	16,029	5,146	10,883		
80.0	3.55	3.40	16,315	5,467	10,849		
85.0	3.40	3.26	16,603	5,789	10,814		
90.0	3.37	3.23	17,425	6,110	11,314		
95.0	3.25	3.11	17,738	6,432	11,308		

Volume required= 11,314 CF  
0.28 AC. FT.

**DETENTION POND SIZING**  
HEART OF TEXAS SMILES

PROJECT: HTTS1900768 DATE: 06/29/20  
PARAMETER: Outflow = 1.88 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-25 Yr Storm

EXISTING CONDITIONS		Q <sub>25</sub>	
Area*	1.934 Acres		
Runoff Coefficient*	0.35		
Time of Concentration*	13.9 Min		
Rainfall Intensity	6.7 in/hr		
Allowable Flow	4.54 cfs		

DEVELOPED CONDITIONS (DIR.)		Q <sub>25</sub>		AREA	
Area*	0.655 Acres	IMP. (C=0.95)	0.139		
Runoff Coefficient*	0.48	PER. (C=0.35)	0.516		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	8.5 in/hr			C=	0.477
Developed Flows	2.66 cfs				

DEVELOPED CONDITIONS (IND.)		Q <sub>25</sub>		AREA	
Area*	1.279 Acres	IMP. (C=0.9)	0.927		
Runoff Coefficient*	0.75	PER. (C=0.35)	0.352		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	8.5 in/hr			C=	0.749
Developed Flows	8.14 cfs				

A	B	C	(A°C <sup>80</sup> )	(Cd)(Tcd+A)/2(60)	Inflow	Outflow	Storage
5.0	8.50	8.14	2,442	563	1,878		
10.0	7.40	7.08	4,251	845	3,406		
15.0	6.50	6.22	5,601	1,127	4,475		
20.0	5.70	5.46	6,549	1,408	5,141		
25.0	5.30	5.07	7,812	1,690	5,922		
30.0	4.80	4.60	8,273	1,972	6,301		
35.0	4.50	4.31	9,048	2,253	6,795		
40.0	4.20	4.02	9,852	2,535	7,117		
45.0	3.95	3.78	10,212	2,817	7,395		
50.0	3.80	3.64	10,916	3,098	7,817		
55.0	3.55	3.40	11,217	3,380	7,837		
60.0	3.40	3.26	11,720	3,662	8,058		
65.0	3.25	3.11	12,136	3,943	8,193		
70.0	3.15	3.02	12,688	4,225	8,443		
75.0	3.00	2.87	12,926	4,506	8,420		
80.0	2.80	2.78	13,328	4,788	8,540		
85.0	2.80	2.68	13,873	5,070	8,603		
90.0	2.70	2.59	13,960	5,351	8,609		
95.0	2.60	2.49	14,190	5,633	8,557		

Volume required= 8,609 CF  
0.20 AC. FT.

**DETENTION POND SIZING**  
HEART OF TEXAS SMILES

PROJECT: HTTS1900768 DATE: 06/29/20  
PARAMETER: Outflow = 1.51 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-10 Yr Storm

EXISTING CONDITIONS		Q <sub>10</sub>	
Area*	1.934 Acres		
Runoff Coefficient*	0.35		
Time of Concentration*	13.9 Min		
Rainfall Intensity	6.7 in/hr		
Allowable Flow	3.86 cfs		

DEVELOPED CONDITIONS (DIR.)		Q <sub>10</sub>		AREA	
Area*	0.655 Acres	IMP. (C=0.95)	0.139		
Runoff Coefficient*	0.48	PER. (C=0.35)	0.516		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	7.5 in/hr			C=	0.477
Developed Flows	2.34 cfs				

DEVELOPED CONDITIONS (IND.)		Q <sub>10</sub>		AREA	
Area*	1.279 Acres	IMP. (C=0.9)	0.927		
Runoff Coefficient*	0.75	PER. (C=0.35)	0.352		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	7.5 in/hr			C=	0.749
Developed Flows	7.18 cfs				

A	B	C	(A°C <sup>80</sup> )	(Cd)(Tcd+A)/2(60)	Inflow	Outflow	Storage
5.0	7.50	7.18	2,164	454	1,700		
10.0	6.40	6.13	3,677	681	2,996		
15.0	5.50	5.27	4,740	908	3,832		
20.0	4.90	4.69	5,630	1,135	4,495		
25.0	4.40	4.21	6,320	1,362	4,957		
30.0	4.10	3.93	7,068	1,589	5,477		
35.0	3.80	3.64	7,641	1,816	5,825		
40.0	3.57	3.42	8,204	2,043	6,161		
45.0	3.37	3.23	8,712	2,270	6,442		
50.0	3.20	3.06	9,192	2,497	6,696		
55.0	3.00	2.87	9,479	2,724	6,785		
60.0	2.90	2.78	9,996	2,951	7,045		
65.0	2.75	2.63	10,269	3,178	7,091		
70.0	2.63	2.52	10,577	3,406	7,171		
75.0	2.55	2.44	10,987	3,632	7,355		
80.0	2.42	2.32	11,122	3,859	7,263		
85.0	2.33	2.23	11,378	4,086	7,292		

Volume required= 7,855 CF  
0.17 AC. FT.

**STAGE STORAGE CHART**

Elevation (FT)	Area (SF)	Incr. Vol. (CF)	Total Vol. (CF)	Vol Req'd (CF)	WSEL (ft)	Storm Event
648	18	0	0			
649	1166	607	607			
650	3658	2427	3034			
651	4475	4067	7101	4314	650.31	2-Year
				7355	651.05	10-Year
				8609	651.31	25-Year
				11314	651.86	100-Year
652.5	5334	4905	12036			
	5784	2750	14786			

**ORIFICE CALCULATIONS**

Length of Opening 1(N):	5.00	Height of Opening 1(N):	3.00	Area of Opening 1 (N):	15	Elev. Bottom 1:	648.05
Length of Opening 2(N):	9.00	Height of Opening 2(N):	3.50	Area of Opening 2 (N):	31.5	Elev. Bottom 2:	650.55
Coefficient of Discharge: 0.6							

**DETERMINATION OF POST DEVELOPMENT DISCHARGE**

Elevation (FT)	Height above Bottom (FT)	Effective Head on Orifice 1 (ft)	Effective Head on Orifice 2 (ft)	Effective Head on Orifice 3 (ft)	Orifice 1 Discharge (CFS)	Orifice 2 Discharge (CFS)	Orifice 3 Discharge (CFS)	Total Orifice Discharge (CFS)	Allow Discharge (CFS)	Verification	Note
650.31	2.31	2.14	0.00	0.00	0.73	0.00	0.00	0.73	0.94	TRUE	2-Year
651.05	3.05	2.88	0.36	0.00	0.85	0.63	0.00	1.48	1.51	TRUE	10-Year
651.31	3.31	3.13	0.61	0.00	0.89	0.82	0.00	1.71	1.88	TRUE	25-Year
651.86	3.86	3.68	1.16	0.00	0.96	1.14	0.00	2.10	2.14	TRUE	100-Year

**DETENTION POND SIZING**  
HEART OF TEXAS SMILES

PROJECT: HTTS1900768 DATE: 08/29/20  
PARAMETER: Outflow = 0.94 cfs

MODIFIED RATIONAL METHOD FOR SIZING DETENTION BASINS-2 Yr Storm

EXISTING CONDITIONS		Q <sub>2</sub>	
Area*	1.934 Acres		
Runoff Coefficient*	0.35		
Time of Concentration*	13.9 Min		
Rainfall Intensity	3.84 in/hr		
Allowable Flow	2.60 cfs		

DEVELOPED CONDITIONS (DIR.)		Q <sub>2</sub>		AREA	
Area*	0.655 Acres	IMP. (C=0.95)	0.139		
Runoff Coefficient*	0.48	PER. (C=0.35)	0.516		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	5.3 in/hr			C=	0.477
Developed Flows	1.66 cfs				

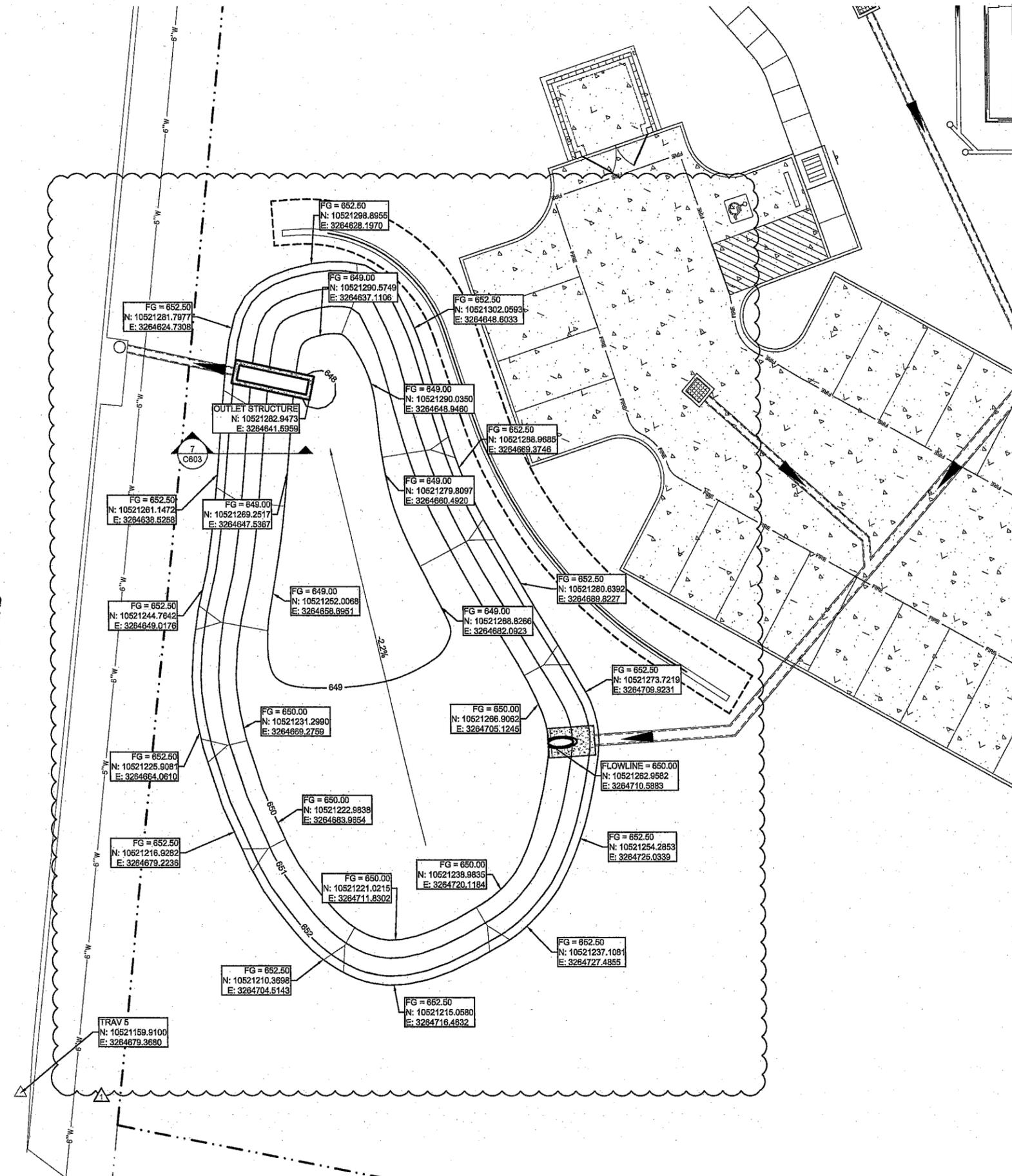
  

DEVELOPED CONDITIONS (IND.)		Q <sub>2</sub>		AREA	
Area*	1.279 Acres	IMP. (C=0.9)	0.927		
Runoff Coefficient*	0.75	PER. (C=0.35)	0.352		
Time of Concentration (Tcd)*	5 Min				
Rainfall Intensity	5.3 in/hr			C=	0.749
Developed Flows	5.07 cfs				

A	B	C	(A°C <sup>80</sup> )	(Cd)(Tcd+A)/2(60)	Inflow	Outflow	Storage
5.0	5.30	5.07	1,522	283	1,240		
10.0	4.35	4.17	2,459	424	2,076		
15.0	3.70	3.54	3,188	565	2,623		
20.0	3.25	3.11	3,734	707	3,028		
25.0	2.90	2.78	4,168	848	3,317		
30.0	2.65	2.64	4,567	989	3,578		
35.0	2.45	2.35	4,926	1,131	3,795		
40.0	2.25	2.16	5,171	1,272	3,898		
45.0	2.10	2.01	5,429	1,413	4,019		
50.0	1.97	1.89	5,689	1,555	4,104		
55.0	1.85	1.77	5,946	1,696	4,149		
60.0	1.78	1.69	6,097	1,837	4,228		
65.0	1.67	1.60	6,238	1,979	4,267		
70.0	1.60	1.53	6,434	2,120	4,314		
75.0	1.52	1.46	6,549	2,261	4,285		
80.0	1.46	1.40	6,710	2,403	4,307		

Volume required= 4,314 CF  
0.10 AC. FT.



FAIRWAY ROAD

OUTLET STRUCTURE  
N: 10521282.9473  
E: 3264641.5959

7  
C603

FG = 652.50  
N: 10521261.1472  
E: 3264638.5258

FG = 649.00  
N: 10521269.2517  
E: 3264647.5367

FG = 652.50  
N: 10521244.7642  
E: 3264649.0176

FG = 649.00  
N: 10521252.0068  
E: 3264658.9951

FG = 649.00  
N: 10521288.8266  
E: 3264662.0923

FG = 652.50  
N: 10521225.9081  
E: 3264664.0610

FG = 650.00  
N: 10521231.2990  
E: 3264669.2759

FG = 650.00  
N: 10521266.9062  
E: 3264705.1245

FG = 652.50  
N: 10521273.7219  
E: 3264709.9231

FLOWLINE = 650.00  
N: 10521262.9582  
E: 3264710.5893

FG = 652.50  
N: 10521216.9282  
E: 3264679.2236

FG = 650.00  
N: 10521222.9838  
E: 3264683.9854

FG = 650.00  
N: 10521239.9835  
E: 3264720.1184

FG = 652.50  
N: 10521254.2853  
E: 3264725.0339

FG = 652.50  
N: 10521210.3698  
E: 3264704.5143

FG = 652.50  
N: 10521215.0580  
E: 3264716.4632

FG = 652.50  
N: 10521237.1081  
E: 3264727.4885

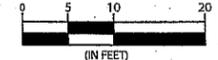
TRAV 5  
N: 10521159.9100  
E: 3264679.3680

1 DETENTION POND PLAN

SCALE: 1" = 10'



06-13-2020  
DATE NAME  
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK 85327  
ON THE DATE SHOWN ON THE STAMP, ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT



KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

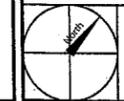
DATE	ISSUED FOR
▲	
▲	
▲	
▲	6-30-20 CITY REVIEW 1



CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

PROJ. # HTSS1900768	PM: DLM
CK. BY: DLM	DN. BY: ECM

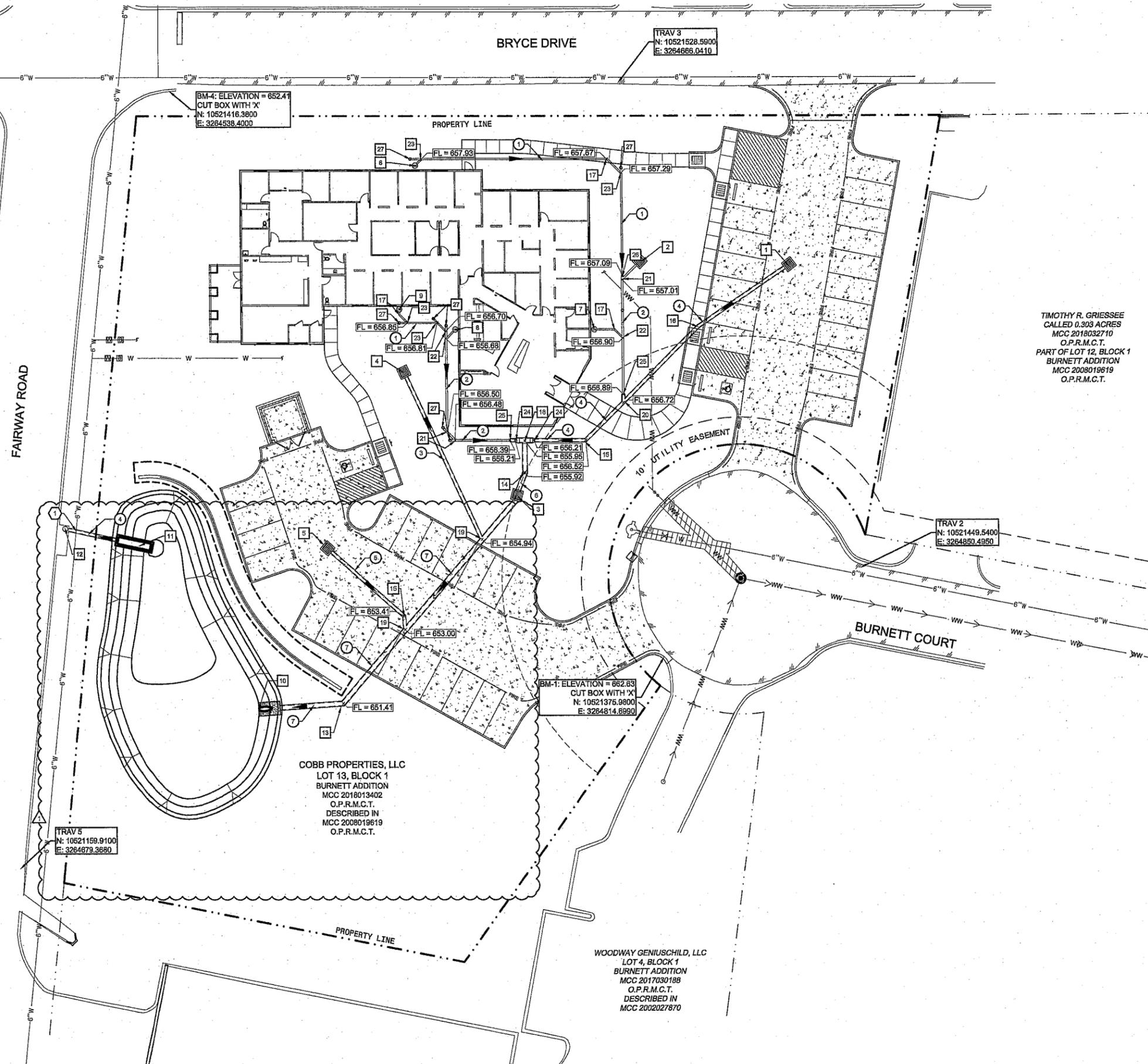
DETENTION POND PLAN



C503

!!!CAUTION!!!  
EXISTING OVERHEAD UTILITIES IN VICINITY. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES.

!!!WARNING!!!  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE 'ONE CALL' LOCATOR SERVICE AT (800)344-8377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.



**1 DRAINAGE PLAN**  
SCALE: 1" = 20'

**STORM LINE CALLOUTS**

- 1 6" SCH 40 PVC @ 0.5%
- 2 8" SCH 40 PVC @ 0.5%
- 3 12" CLASS IV RCP @ 0.5%
- 4 12" CLASS IV RCP @ 1.0%
- 5 12" CLASS IV RCP @ 4.0%
- 6 18" CLASS IV RCP @ 0.5%
- 7 18" CLASS IV RCP @ 4.4%

**STORM STRUCTURE CALLOUTS**

- 1 3' X 3' GRATE INLET WITH TRAFFIC GRATE  
T/G = 661.30  
FL OUT = 657.49
- 2 3' X 3' GRATE INLET WITH BEEHIVE GRATE  
T/G = 661.15  
FL OUT = 657.04
- 3 3' X 3' GRATE INLET WITH BEEHIVE GRATE  
T/G = 660.87  
FL IN = 655.90  
FL OUT = 655.80
- 4 3' X 3' GRATE INLET WITH BEEHIVE GRATE  
T/G = 660.77  
FL = 655.52
- 5 3' X 3' GRATE INLET WITH TRAFFIC GRATE  
T/G = 659.55  
FL OUT = 654.79
- 6 CONNECT TO DOWNSPOUT  
FL = 658.02
- 7 CONNECT TO DOWNSPOUT  
FL = 657.04
- 8 CONNECT TO DOWNSPOUT  
FL = 656.79
- 9 CONNECT TO DOWNSPOUT  
FL = 656.88
- 10 18" SAFETY END TREATMENT  
FL OUT = 650.00
- 11 POND OUTLET STRUCTURE  
FL IN = 648.05  
FL OUT = 649.98
- 12 CONNECT TO EXISTING CURB INLET  
FL IN = 648.67  
FL OUT = 646.57  
T/CURB = 649.55
- 13 18" RCP 45° BEND
- 14 18" RCP 22.5° BEND
- 15 12" RCP 45° BEND
- 16 12" 11.25° BEND
- 17 6" PVC 45° BEND
- 18 18" X 18" RCP TEE
- 19 18" X 12" RCP WYE
- 20 12" X 12" RCP WYE
- 21 8" X 8" PVC WYE
- 22 8" X 6" PVC WYE
- 23 6" X 6" PVC WYE
- 24 18" X 12" REDUCER
- 25 12" X 8" REDUCER
- 26 8" X 6" REDUCER
- 27 INSTALL END OF LINE CLEANOUT

**MISCELLANEOUS CALLOUTS**

- 1 CONTRACTOR TO POT HOLE 6" WATER LINE PRIOR TO STORM DRAIN INSTALLATION.

**!!!CAUTION!!!**  
EXISTING OVERHEAD UTILITIES IN VICINITY. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES.

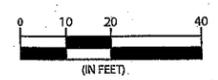
**!!!WARNING!!!**  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE 'ONE CALL' LOCATOR SERVICE AT (800)344-8377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

TIMOTHY R. GRIESSEE  
CALLED 0.303 ACRES  
MCC 2018032710  
O.P.R.M.C.T.  
PART OF LOT 12, BLOCK 1  
BURNETT ADDITION  
MCC 2008019819  
O.P.R.M.C.T.



05-12-2020  
DATE NAME

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK 86332. ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**KEY PLAN**

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

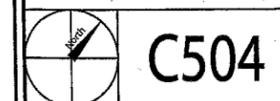
DATE	ISSUED FOR
6-30-20	CITY REVIEW 1

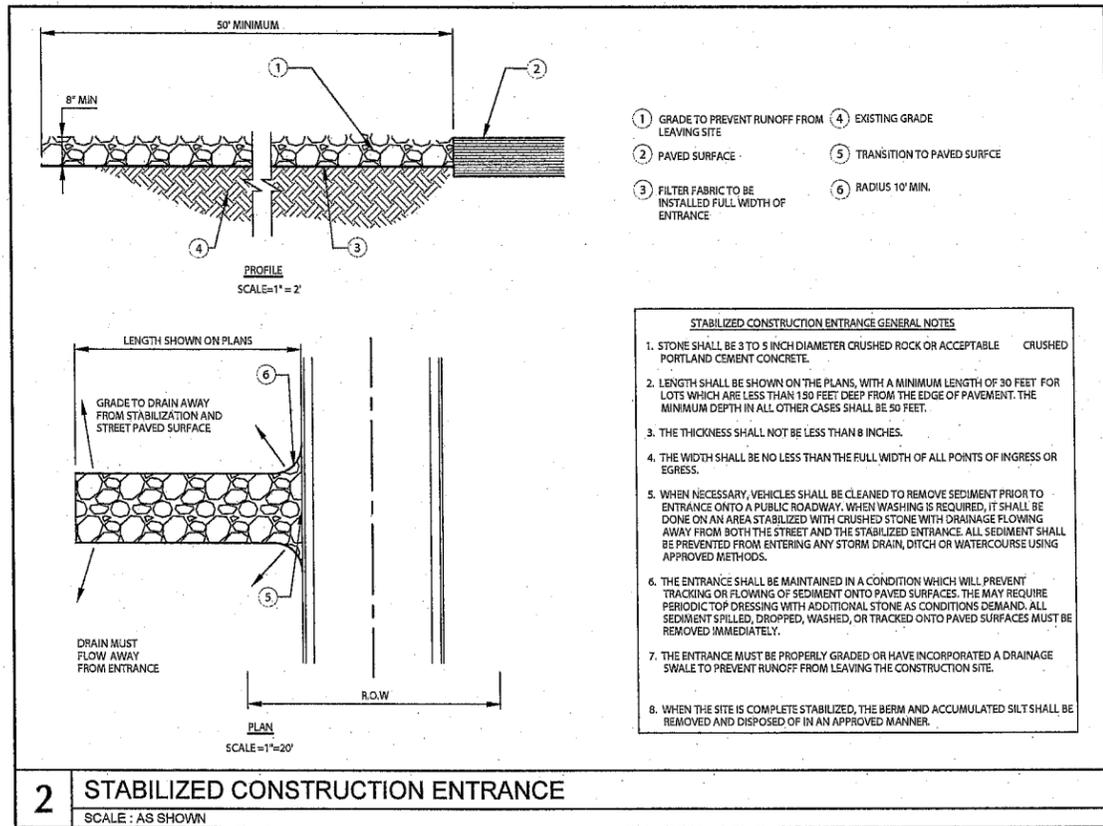
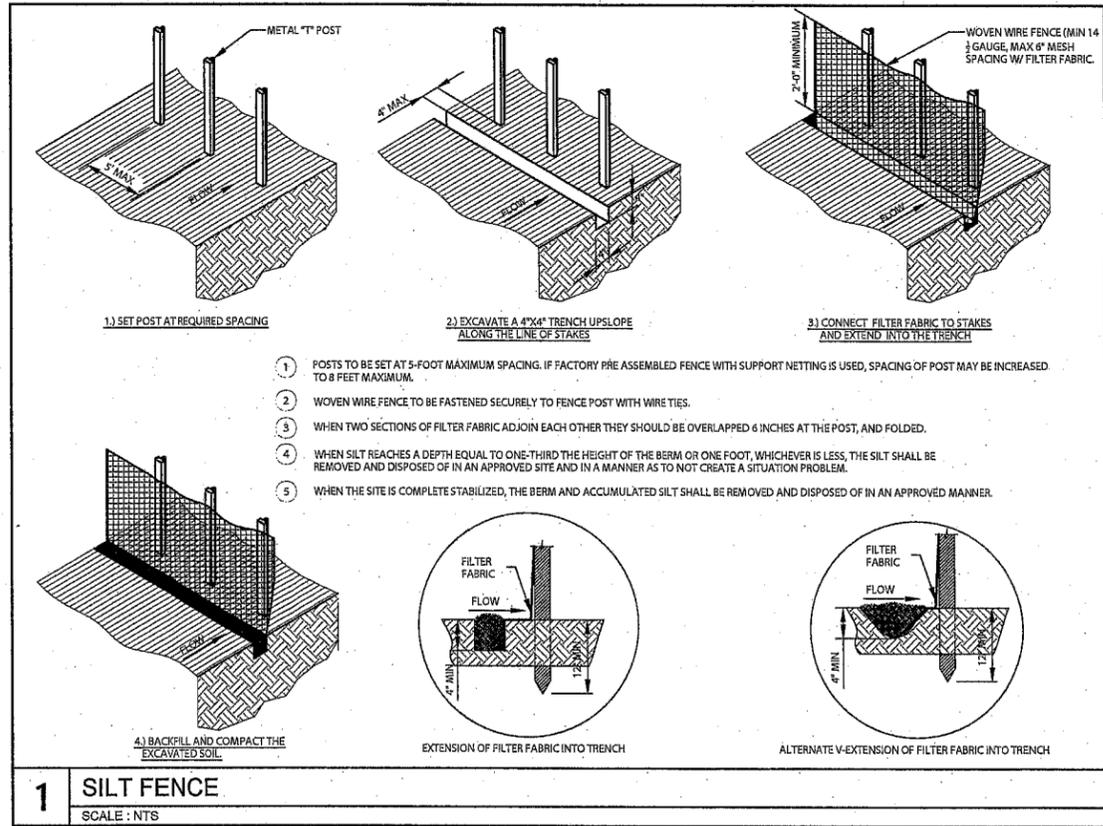


TEXAS REGISTERED ENGINEERING FIRM  
F-1741

PROJ. # HTSS1900768 PM: DLM  
CK. BY: DLM DN. BY: ECM

**DRAINAGE PLAN**





STATE OF TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
DAVID L. MAREK  
#5327

05-12-2020  
DATE NAME

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK #5327 ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT



KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

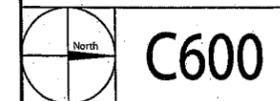
WOODWAY, TX

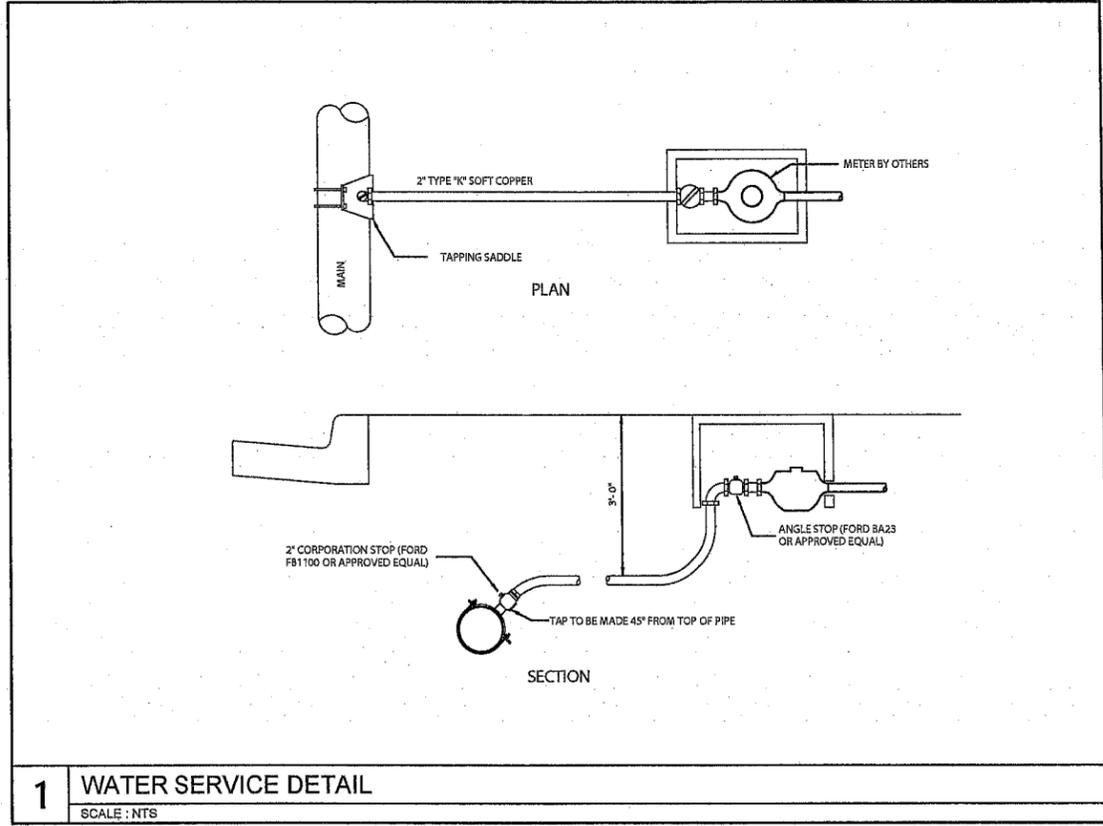
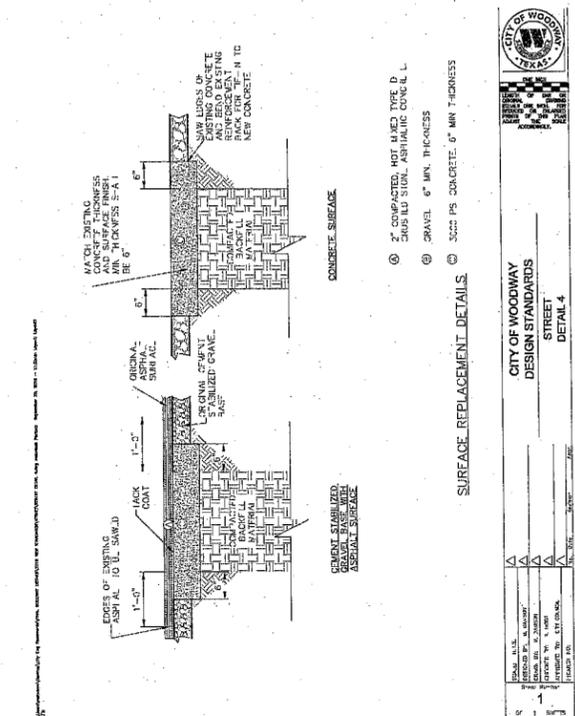
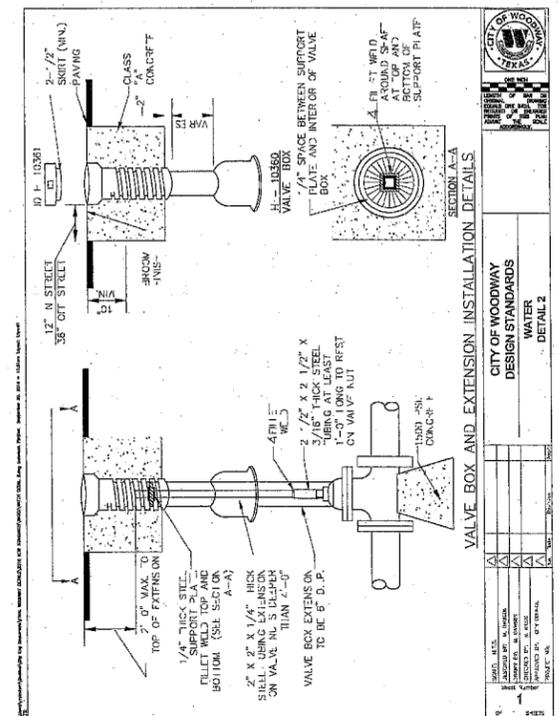
DATE	ISSUED FOR

**CP&Y**  
CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

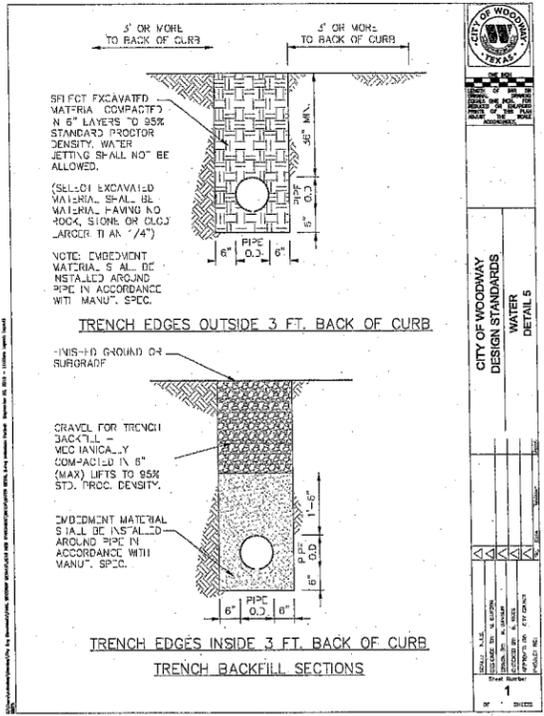
PROJ. # HTSS1900768 PM: DLM  
CK. BY: DLM DN. BY: ECM

EROSION CONTROL DETAILS

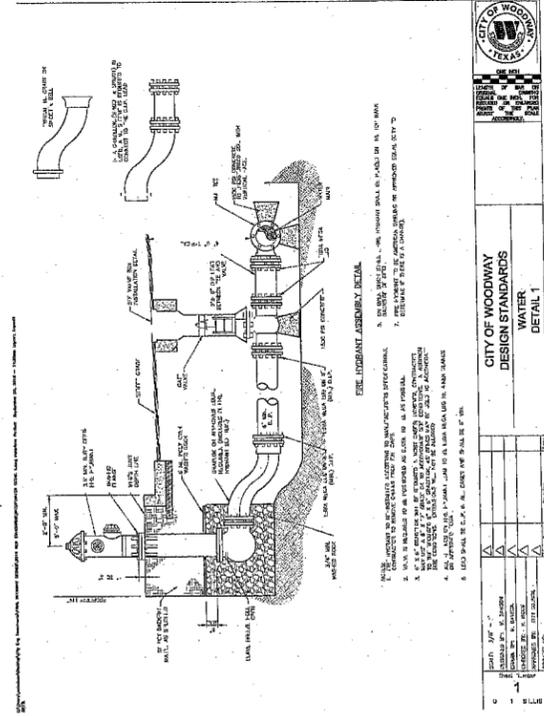




1 WATER SERVICE DETAIL  
SCALE: NTS



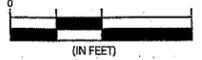
CITY OF WOODWAY DESIGN STANDARDS WATER DETAIL 5



CITY OF WOODWAY DESIGN STANDARDS WATER DETAIL 1



DATE: 06-12-2020  
NAME: David L. Marek  
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK #83327 ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



KEY PLAN

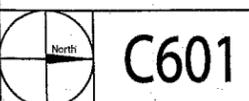
HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

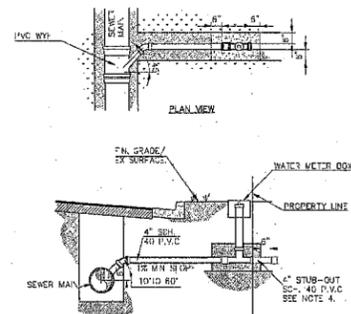
DATE	ISSUED FOR

**CP&Y**  
CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

PROJ. # HTSS1900768 PM: DLM  
CK. BY: DLM DN. BY: ECM

WATER DETAILS



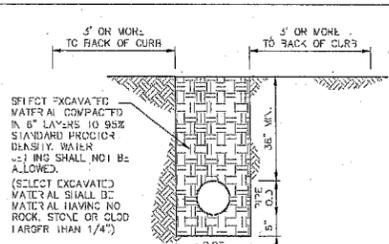


- NOTE:**
- EXISTING PVC MANHOLE REQUIRES A CASKITED SADDLE W/ C/ WITH STAINLESS STEEL STRIPS
  - 6" SERVICE PIPE FOR COMMERCIAL AND INDUSTRIAL 4" SERVICE PIPE FOR RESIDENTIAL
  - DOUBLE CLEANOUT FOR COMMERCIAL AND INDUSTRIAL SINGLE CLEANOUT FOR RESIDENTIAL
  - EXTEND 4" STUB OUT FOR RESIDENTIAL SERVICE TO FINISHED GRADE

SEWER SERVICE CONNECTION DETAIL

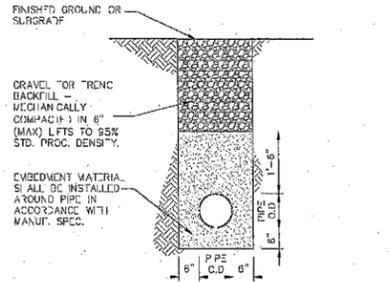
CITY OF WOODWAY DESIGN STANDARDS SANITARY SEWER DETAIL 4

DATE	11/11/2019
DESIGNED BY	DAVID L. MAREK
CHECKED BY	DAVID L. MAREK
APPROVED BY	DAVID L. MAREK
PROJECT NO.	HTSS1900768
SHEET NO.	1



NOTE: EMBEDMENT MATERIAL SHALL BE INSTALLED AROUND PIPE IN ACCORDANCE WITH MANUF. SPEC.

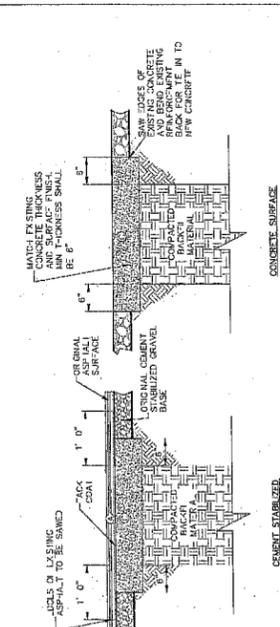
TRENCH EDGES OUTSIDE 3 FT. BACK OF CURB



TRENCH EDGES INSIDE 3 FT. BACK OF CURB  
TRENCH BACKFILL SECTIONS

CITY OF WOODWAY DESIGN STANDARDS SANITARY SEWER DETAIL 6

DATE	11/11/2019
DESIGNED BY	DAVID L. MAREK
CHECKED BY	DAVID L. MAREK
APPROVED BY	DAVID L. MAREK
PROJECT NO.	HTSS1900768
SHEET NO.	1

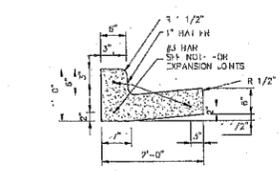


- ① 4" CONCRETE (14 MPA) WITH 1% FIBER REINFORCEMENT
- ② GRANITE - 6" MIN. THICKNESS
- ③ 4000-PSI CONCRETE (14 MPA) WITH 1% FIBER REINFORCEMENT

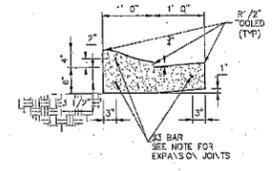
SURFACE REPLACEMENT DETAILS

CITY OF WOODWAY DESIGN STANDARDS STREET DETAIL 4

DATE	11/11/2019
DESIGNED BY	DAVID L. MAREK
CHECKED BY	DAVID L. MAREK
APPROVED BY	DAVID L. MAREK
PROJECT NO.	HTSS1900768
SHEET NO.	1



STANDARD CURB AND GUTTER DETAIL



MOUNTABLE CURB AND GUTTER DETAIL

- NOTE:**
- INSTALL 1/2" PRE-MOLDED EXP. JOINT MATERIAL AT 30 FT. INTERVALS IN CURB AND GUTTER AND AT THE BEGINNING AND END OF ALL RETURNS AND DRIVE APPROACHES.
  - INSTALL 3/8" DIAMETER X 2 FT. LONG SMOOTH ZOWEL BARS AT EXPANSION JOINTS AND AT BEGINNING AND END OF ALL CURB RETURNS. 1/2" X 1/2" X 1/2" (3/8" DIA.) BARS SHALL BE USED FOR RETURNS.
  - ALL CONCRETE IS ALL HAV. A MIN. 28 DAY COMPRESSIVE STRENGTH OF 4,000-PSI.

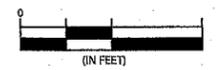
CITY OF WOODWAY DESIGN STANDARDS EXCEPTION DESIGN DETAIL 5

DATE	11/11/2019
DESIGNED BY	DAVID L. MAREK
CHECKED BY	DAVID L. MAREK
APPROVED BY	DAVID L. MAREK
PROJECT NO.	HTSS1900768
SHEET NO.	1



DATE: 06-12-2020  
NAME: David L. Marek

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK #85322. ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



KEY PLAN

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

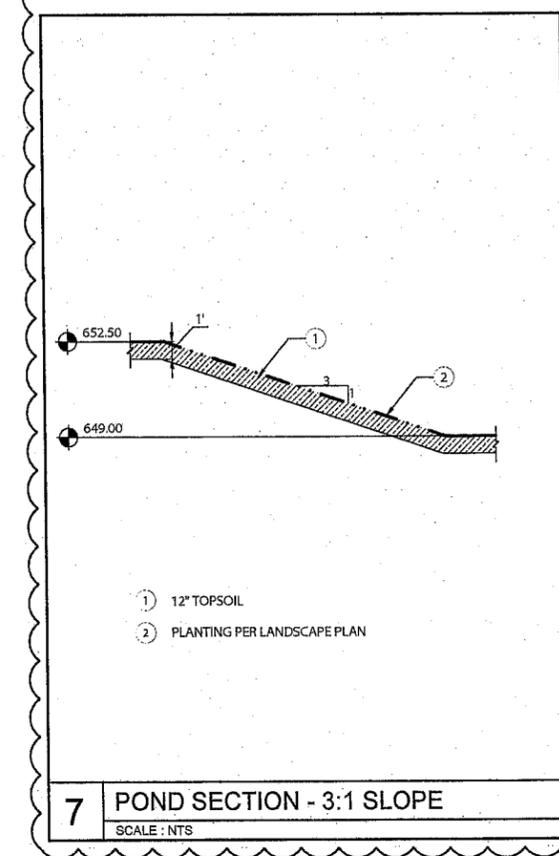
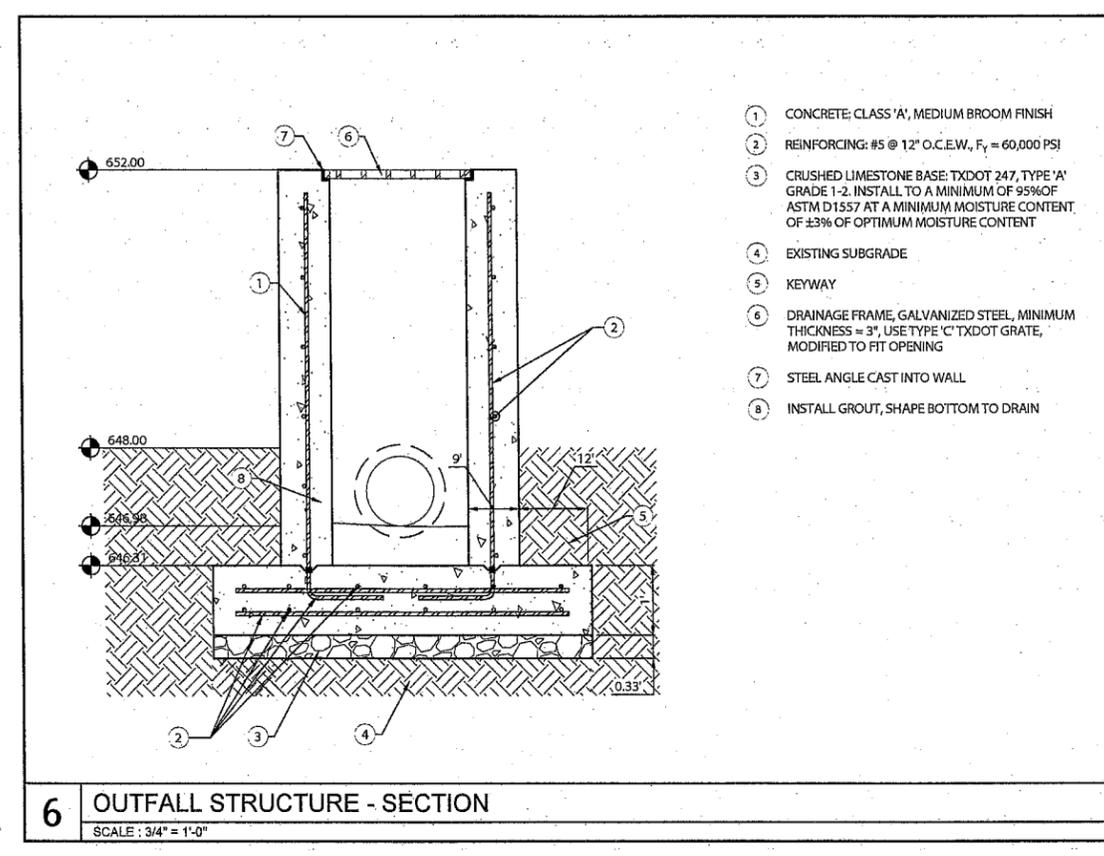
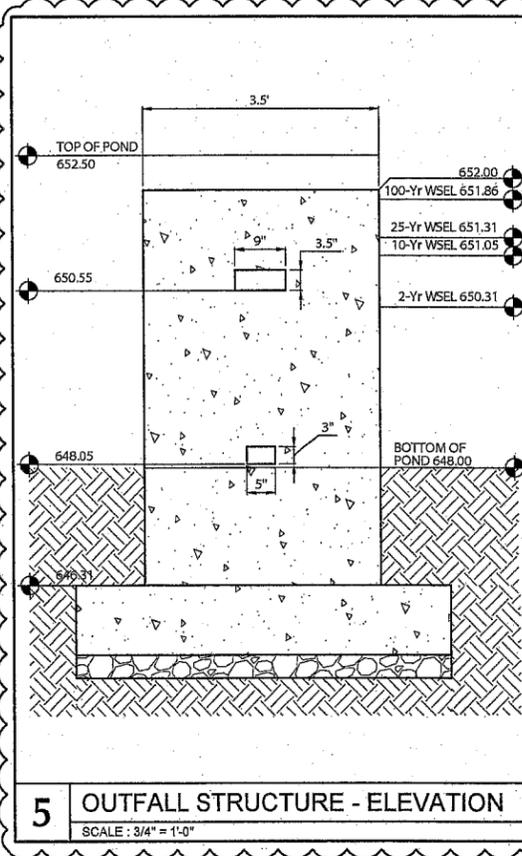
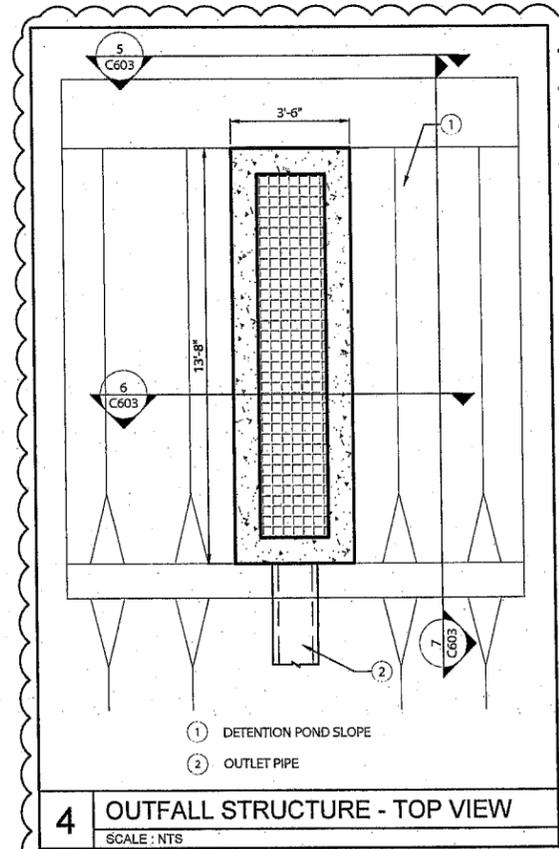
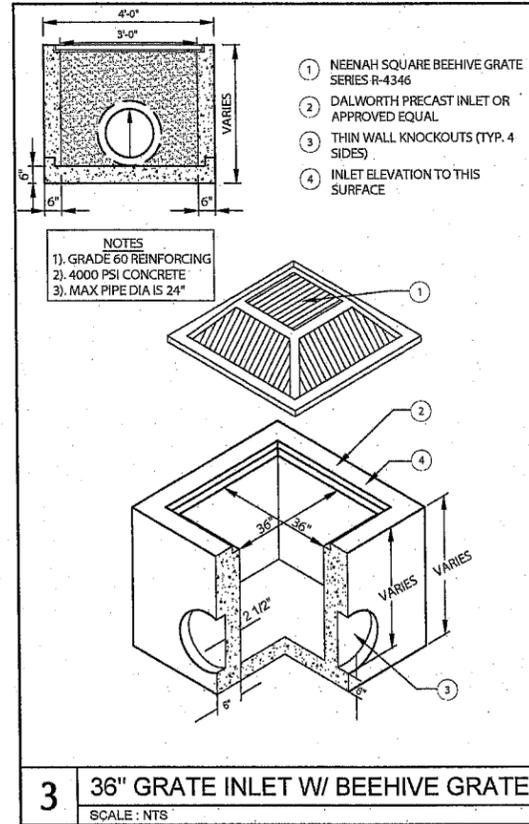
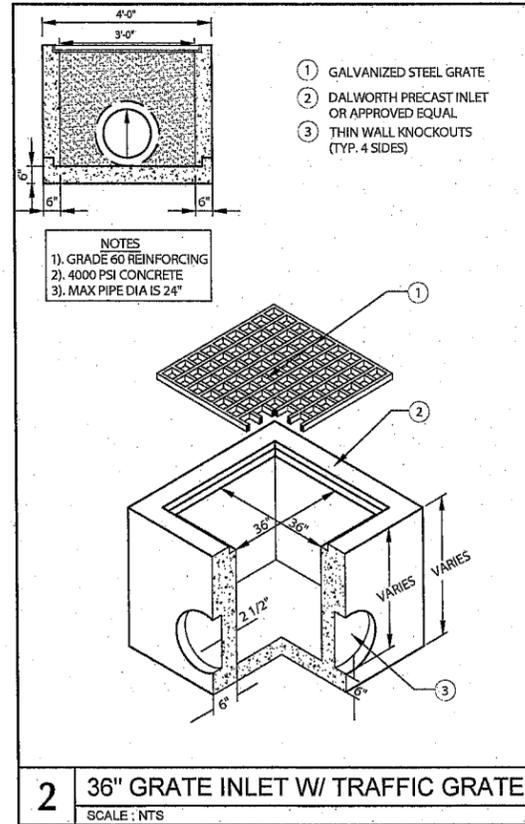
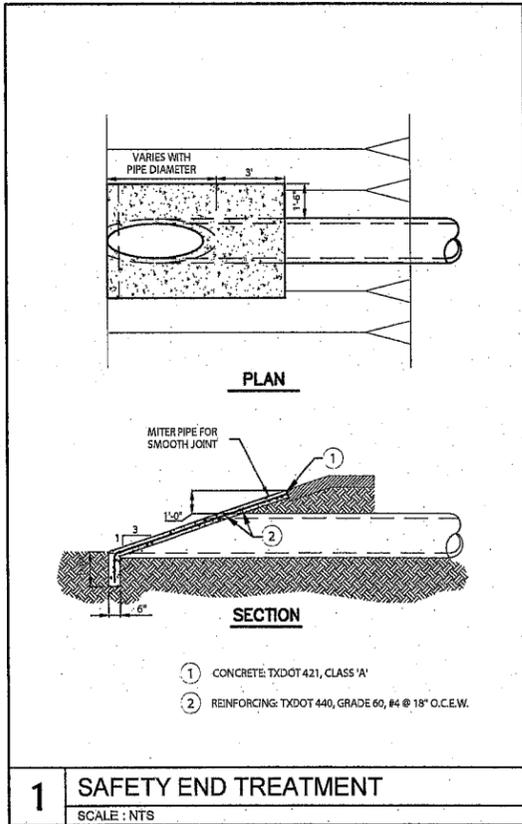
DATE	ISSUED FOR

**CP&Y**  
CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

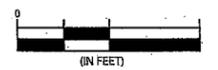
PROJ. # HTSS1900768 PM: DLM  
CK. BY: DLM DN. BY: ECM

WASTEWATER DETAILS

North  
**C602**



06-12-2020  
DATE NAME  
"THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK #83327 ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT"



KEY PLAN

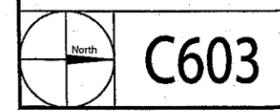
HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

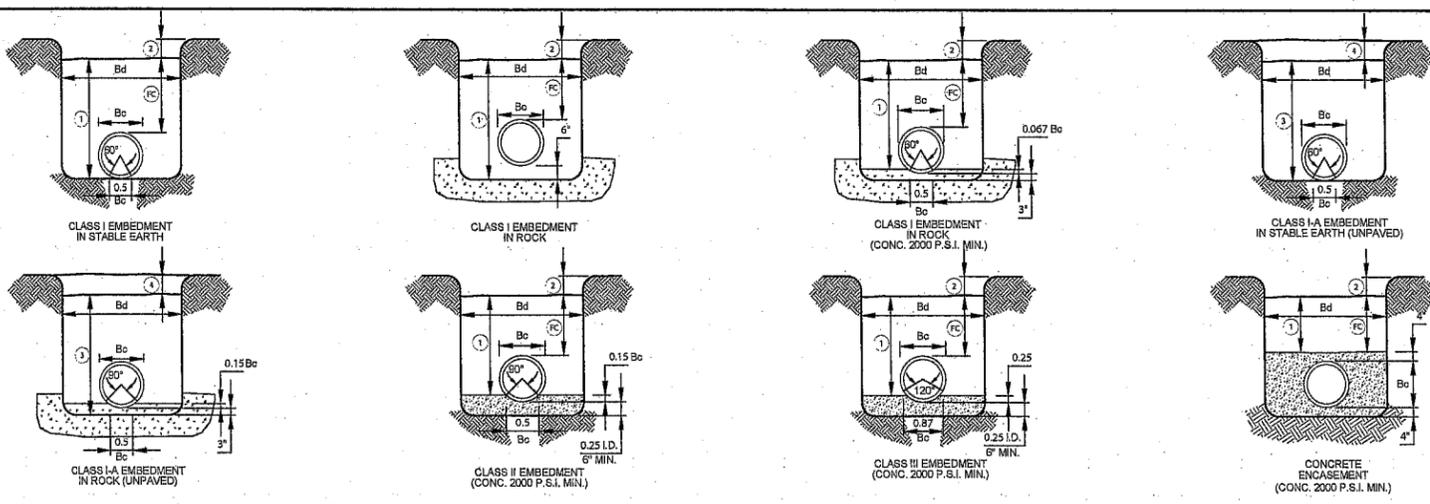
DATE	ISSUED FOR
6-30-20	CITY REVIEW 1

**CP&Y**  
CP&Y, INC.  
TEXAS REGISTERED  
ENGINEERING FIRM  
F-1741

PROJ. # HTSS1900768 PM: DLM  
CK BY: DLM DN BY: ECM

DRAINAGE  
DETAILS





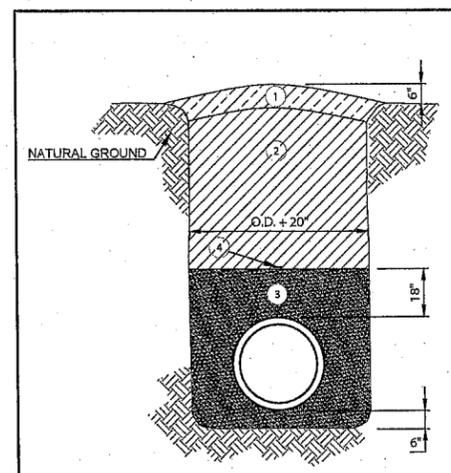
The Wallace Group, Inc. © 2020

- ① GRAVEL FOR TRENCH BACKFILL
- ② SEE—SURFACE REPLACEMENT DETAIL
- ③ SELECTED EXCAVATED TRENCH MATERIAL
- ④ SELECTED TOP SOIL FROM EXCAVATION
- ⑤ FIELD COMPUTED QUANTITY
- ⑥ GRAVEL CUSHION PERMITTED, BUT COST FOR GRAVEL AND ADDITIONAL EXCAVATION WILL BE AT CONTRACTOR'S EXPENSE

NOTE:  
CLASS OF EMBEDMENT AND LIMITS BY STATIONS SHALL BE INDICATED ON THE PLAN-PROFILE SHEETS. THE CLASS OF EMBEDMENT FOR PIPE IN UNPAVED STREETS WHICH ARE TO BE PAVED WITHIN 1 YEAR SHALL BE THE SAME AS THAT FOR PAVED STREETS.

PIPE SIZE I.D. IN INCHES	WALL THICKNESS IN INCHES CLASS III R.C.P.	O.D. OF PIPE IN INCHES B <sub>0</sub>	MAX. TRENCH WIDTH IN INCHES B <sub>0</sub> +24"	MIN. TRENCH WIDTH IN INCHES B <sub>0</sub> +18"	BASIS OF PAYMENT AVE. TRENCH WIDTH B <sub>0</sub> +20"+B <sub>d</sub>	CLASS I EMBEDMENT				CLASS I-A EMBEDMENT		CLASS II EMBEDMENT		CLASS III EMBEDMENT		CONCRETE ENCASEMENT	
						STABLE EARTH GRAVEL CU.YD./100'	ROCK GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	ROCK GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	GRAVEL CU.YD./100'	CONC. GRAVEL CU.YD./100'	CONC. CU.YD./100'	CONC. CU.YD./100'	
12	2	18	40	32	36	8.85	15.20	3.82	8.85	4.53	7.31	7.88	8.25	8.85	17.05		
15	2-1/4	19-1/2	43-1/2	35-1/2	35-1/2	11.02	18.22	2.15	11.02	5.32	8.37	9.86	9.95	8.68	20.25		
18	2-1/2	21	47	39	43	13.32	21.38	2.41	13.32	6.18	9.48	11.00	11.44	10.25	23.89		
21	2-3/4	23-1/2	51-1/2	42-1/2	45-1/2	15.78	24.58	2.50	15.78	7.05	10.54	12.14	12.33	12.95	27.07		
24	3	25-1/2	55-1/2	45-1/2	48	18.34	27.81	2.52	18.34	7.93	11.65	13.24	13.81	14.31	30.88		
27	3-1/4	28-1/2	59-1/2	48-1/2	51-1/2	20.92	31.03	2.52	20.92	8.85	12.74	14.37	14.93	15.33	34.43		
30	3-1/2	31	63	51	54	23.55	34.26	2.52	23.55	9.76	13.82	15.36	15.91	16.23	38.31		
36	4	35	69	55	58	28.45	39.20	2.52	28.45	11.25	15.42	16.91	17.45	17.77	43.49		
42	4-1/2	41	75	61	64	33.57	44.14	2.52	33.57	12.67	17.07	18.56	19.09	19.41	49.20		
48	5	47	81	67	70	38.82	49.08	2.52	38.82	14.07	18.72	20.21	20.73	21.05	55.43		
54	5-1/2	53	87	73	76	44.18	54.02	2.52	44.18	15.47	20.37	21.86	22.37	22.69	62.17		
60	6	59	93	79	82	49.65	58.96	2.52	49.65	16.87	22.02	23.51	24.01	24.33	69.41		
66	6-1/2	65	99	85	88	55.23	63.90	2.52	55.23	18.27	23.67	25.16	25.65	25.97	77.15		
72	7	71	105	91	94	60.92	68.76	2.52	60.92	19.67	25.32	26.81	27.29	27.61	85.40		
78	7-1/2	77	111	97	100	66.72	73.60	2.52	66.72	21.07	26.97	28.46	28.93	29.25	94.14		
84	8	83	117	103	106	72.63	78.54	2.52	72.63	22.47	28.62	30.11	30.57	30.89	103.38		

**1 RCP EMBEDMENT DETAILS**  
SCALE : N.T.S.



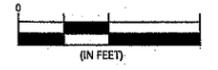
- ① TOPSOIL: TOPSOIL TYPE 'T1'
  - ② BACKFILL: SOIL TYPE 'S1'
  - ③ EMBEDMENT: TYPE 'A1' OR TYPE 'A2' COARSE AGGREGATE, TYPE 'A4' FINE AGGREGATE
  - ④ DETECTABLE MARKER TAPE
- NOTE:  
1.) IF GROUND WATER IS ENCOUNTERED LAY THE PIPE ON A 6" MINIMUM BEDDING OF 1" WASHED ROCK  
2.) BELL HOLES SHALL BE DUG IN ALL EMBEDMENT TO ALLOW THE FULL LENGTH OF PIPE BARREL TO REST ON BEDDING MATERIAL.

**2 PVC EMBEDMENT**  
SCALE : N.T.S.



06-13-2020 DATE  
NAME

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**KEY PLAN**

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

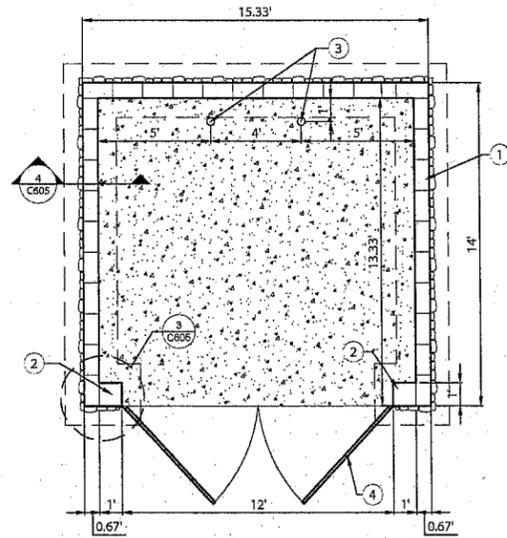
DATE	ISSUED FOR

**CP&Y**  
CP&Y, INC.  
TEXAS REGISTERED ENGINEERING FIRM  
F-1741

PROJ. # HTSS1900768 PM: DLM  
CK BY: DLM DN BY: ECM

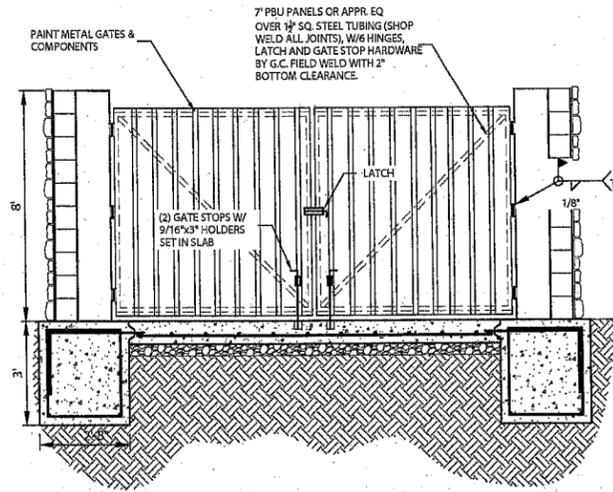
**EMBEDMENT DETAILS**

North  
**C604**



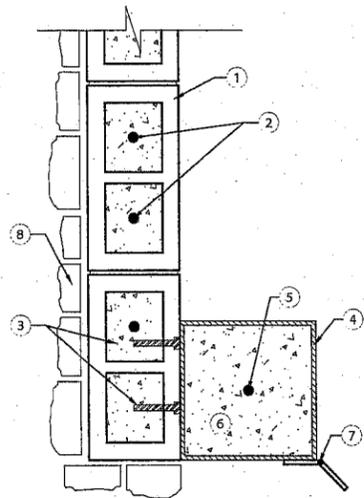
- ① 8" x 8" x 16" CONCRETE MASONRY UNIT. INSTALL #8 REBAR,  $F_y = 60,000$  PSI AND CONCRETE,  $f'_c = 3,000$  PSI EVERY OTHER CELL.
- ② 12" X 12" X 3/8" TUBULAR STEEL MEMBER FILL CELL W/#8 REBAR,  $F_y = 60,000$  PSI & CONCRETE,  $f'_c = 3,000$  PSI.
- ③ CONCRETE BOLLARD
- ④ STRUCTURAL STEEL TUBING GATE

**1 DUMPSTER ENCLOSURE PLAN VIEW**  
SCALE: NTS



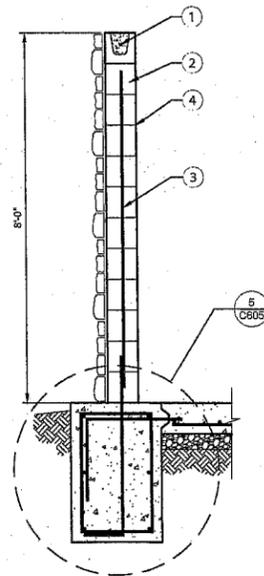
PAINT ALL EXPOSED STEEL

**2 GATE DETAIL**  
SCALE: NTS



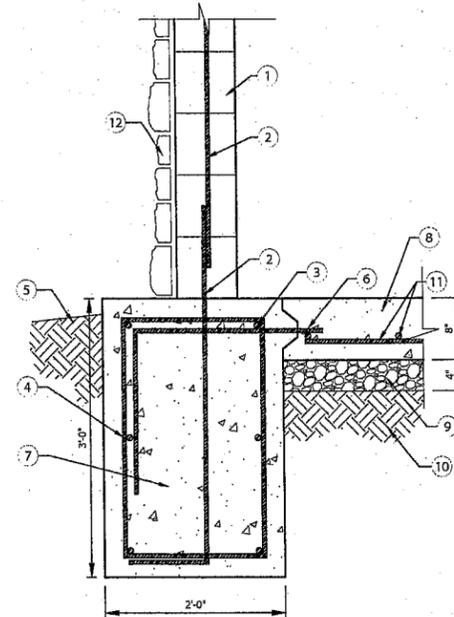
- ① 8" X 8" X 16" CONCRETE MASONRY UNIT, COLOR TO BE APPROVED BY ARCHITECT
- ② REINFORCING: TXDOT 440, GRADE 60, #8 REBAR  
CONCRETE:  $f'_c = 3,000$  PSI FILL BOTH END CELLS
- ③ 4" LONG X 1" Ø NELSON STUD WELDED TO TUBULAR STEEL MEMBER
- ④ 12" X 12" X 3/8" TUBULAR STEEL MEMBER,  $F_y = 40,000$  PSI
- ⑤ REINFORCING: TXDOT 440, GRADE 60, #8 BAR
- ⑥ CONCRETE: TXDOT 421, CLASS 'A',  $f'_c = 3,000$  PSI
- ⑦ STEEL HINGE WELD TO TUBULAR STEEL
- ⑧ STONE VENEER: CORONADO, SAWTOOTH LEDGE, WHITE

**3 SECTION 'A'**  
SCALE: NTS



- ① 8" X 8" X 16" CONCRETE MASONRY LINTEL, COLOR TO BE APPROVED BY ARCHITECT. INSTALL 2-#3 REBAR, TXDOT 440,  $F_y = 60,000$  PSI & CONCRETE: TXDOT 421,  $f'_c = 3,000$  PSI.
- ② 8" X 8" X 16" CONCRETE MASONRY UNIT, COLOR TO BE APPROVED BY ARCHITECT.
- ③ REINFORCING: TXDOT 440, #8 REBAR,  $F_y = 60,000$  PSI. CONCRETE: TXDOT 421,  $f'_c = 3,000$  PSI. INSTALLED IN EVERY OTHER CELL.
- ④ HORIZONTAL JOINT REINFORCING EVERY OTHER COURSE.

**4 SECTION 'B'**  
SCALE: NTS



- ① 8" X 8" X 16" CONCRETE MASONRY UNIT; COLOR TO BE APPROVED BY ARCHITECT
- ② REINFORCING: TXDOT 440, #8 BAR,  $F_y = 60,000$  PSI
- ③ REINFORCING: TXDOT 440, #6 BAR, TOP, BOTTOM & CENTER,  $F_y = 60,000$  PSI
- ④ REINFORCING: TXDOT 440, #4 STIRRUP @ 12" O.C.,  $F_y = 60,000$  PSI
- ⑤ TOP SOIL & LANDSCAPING
- ⑥ REINFORCING: TXDOT 440, #6 DOWEL @ 12" O.C.E.W.,  $F_y = 60,000$  PSI
- ⑦ CONCRETE: TXDOT 421,  $f'_c = 4,000$  PSI @ 28 DAYS
- ⑧ CONCRETE: TXDOT 421,  $f'_c = 3,000$  PSI @ 28 DAYS
- ⑨ CRUSHED LIMESTONE BASE; TYPE 'A', GRADE 1-2. INSTALL 4" COMPACTED LIFTS TO MINIMUM 95% OF ASTM D698 MAX DRY DENSITY AT A MOISTURE CONTENT RANGE OF ±3% OPTIMUM MOISTURE CONTENT.
- ⑩ COMPACT EXISTING SUBGRADE TO A MINIMUM OF 95% OF ASTM D698 MAX DRY DENSITY WITHIN 0% TO ±3% OPTIMUM MOISTURE CONTENT.
- ⑪ REINFORCING: TXDOT 440, #6 @ 12" O.C.E.W.,  $F_y = 60,000$  PSI
- ⑫ STONE VENEER: CORONADO, SAWTOOTH LEDGE, WHITE

**5 SECTION 'C'**  
SCALE: NTS



DATE: 06-12-2020  
NAME: D. Marek  
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KEY PLAN

HEART OF TEXAS SMILES

DENTAL CLINIC

WOODWAY, TX

DATE	ISSUED FOR



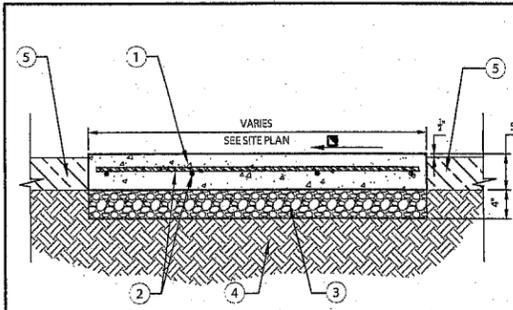
TEXAS REGISTERED ENGINEERING FIRM F-1741

PROJ. # HTSS1900768	PM: DLM
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DUMPSTER ENCLOSURE DETAILS



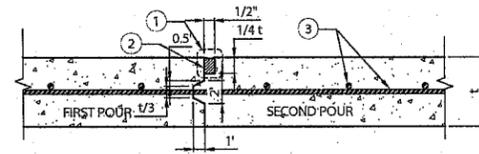
C605



- 1 CONCRETE: TXDOT 421, TYPE 'A', MEDIUM BROOM FINISH
- 2 REINFORCING: TXDOT 440, GRADE 60, #4 @ 12" O.C.E.W.
- 3 CRUSHED LIMESTONE BASE: TXDOT 247, TYPE 'A', GRADE 1-2. INSTALL IN 4" COMPACTED LIFTS TO A MINIMUM 95% OF ASTM D 1557 AT A MOISTURE CONTENT RANGE OF ±3% OF OPTIMUM MOISTURE CONTENT
- 4 COMPACT EXISTING SUBGRADE TO A MINIMUM 95% OF ASTM D898 MAX DRY DENSITY WITHIN 0% TO +3% OPTIMUM MOISTURE CONTENT
- 5 TOPSOIL: THICKNESS PER LANDSCAPING PLAN, MINIMUM THICKNESS 6 INCHES.

NOTE: 1) MAX CROSS SLOPE: 2%  
 2) MIN CROSS SLOPE: 1%  
 3) CONTROL JOINT SPACING: 5'-0" (TYP)  
 4) EXPANSION JOINT SPACING: 50'-0" (MAX)  
 5) DOWELS: #3 @ 12" O.C.,  $f_c = 60,000$  PSI

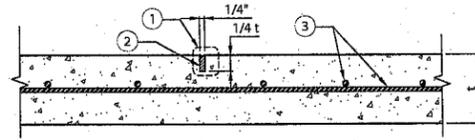
**1 CONCRETE SIDEWALK**  
 SCALE: N.T.S.



- 1 TYPICAL JOINT SEAL
- 2 VERTICAL SAW CUT
- 3 REINFORCING AS SPECIFIED

NOTE: CONTRACTOR SHALL PROTECT KEYWAY PRIOR TO SECOND POUR. IF LONGITUDINAL KEYWAY IS DAMAGED, CONTRACTOR SHALL REPAIR WITH USE OF LONGITUDINAL BUTT JOINT. DRILL AND GROUT DOWELS INTO FIRST POUR.

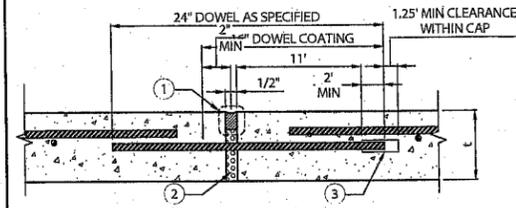
**2 CONSTRUCTION JOINT DETAIL**  
 SCALE: 1 1/2" = 1'-0"



- 1 TYPICAL JOINT SEAL
- 2 VERTICAL SAW CUT
- 3 REINFORCING AS SPECIFIED

NOTE: CONTRACTOR SHALL SAWCUT JOINT AS SOON AS CONCRETE CAN ACCEPT WEIGHT.

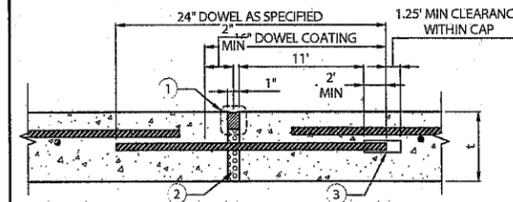
**3 CONTRACTION JOINT DETAIL (SIDEWALK)**  
 SCALE: 1 1/2" = 1'-0"



- 1 TYPICAL JOINT SEAL
- 2 NON EXTRUDING PREMOLDED COMPRESSIBLE MATERIAL, REDWOOD OR APPROVED EQUAL
- 3 CLOSED DOWEL SLEEVE TO FIT DOWEL @ BE SECURED, INSTALLED AS SPECIFIED

NOTE:  
 1. DOWELS @ REINF. BARS SHOULD BE SUPPORTED ON AN APPROVED DEVICE & MUST BE TIED OR CHAIRED ON EACH SIDE  
 2. DOWELS MUST BE PERPENDICULAR TO FACE OF CONCRETE  
 3. 16" DOWEL COATING TO CONSIST OF HEAVY GREASE OR BOND BREAKER

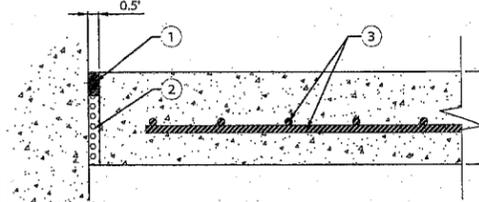
**4 EXPANSION JOINT DETAIL (SIDEWALK)**  
 SCALE: 1 1/2" = 1'-0"



- 1 TYPICAL JOINT SEAL
- 2 NON EXTRUDING PREMOLDED COMPRESSIBLE MATERIAL, REDWOOD OR APPROVED EQUAL
- 3 CLOSED DOWEL SLEEVE TO FIT DOWEL @ BE SECURED, INSTALLED AS SPECIFIED

NOTE:  
 1. DOWELS @ REINF. BARS SHOULD BE SUPPORTED ON AN APPROVED DEVICE & MUST BE TIED OR CHAIRED ON EACH SIDE  
 2. DOWELS MUST BE PERPENDICULAR TO FACE OF CONCRETE  
 3. 16" DOWEL COATING TO CONSIST OF HEAVY GREASE OR BOND BREAKER

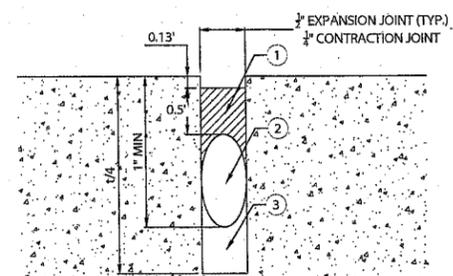
**5 EXPANSION JOINT DETAIL (PAVEMENT)**  
 SCALE: 1 1/2" = 1'-0"



- 1 TYPICAL JOINT SEAL
- 2 NON-EXTRUDING PRE-MOLDED COMPRESSIBLE MATERIAL, REDWOOD OR APPROVED EQUAL
- 3 REINFORCING AS SPECIFIED

NOTE: t = THICKNESS OF SLAB

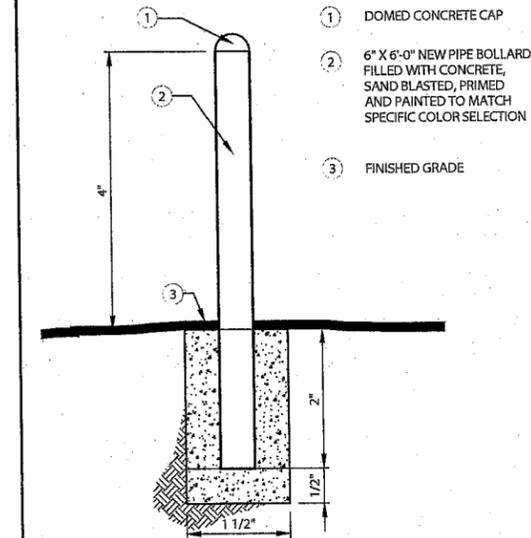
**6 ISOLATION JOINT**  
 SCALE: 3" = 1'-0"



- 1 JOINT SEALANT: W R MEADOWS, SELF LEVELING, LOW MODULUS POLYURETHANE SL OR APPROVED EQUAL.
- 2 BACKER ROD, COMPATIBLE WITH THE CLASS OF SEALANT.
- 3 VOID SPACE.

NOTE: t = THICKNESS OF SLAB

**7 TYPICAL JOINT SEAL**  
 SCALE: 1" = 1'-0"



- 1 DOMED CONCRETE CAP
- 2 6" X 6'-0" NEW PIPE BOLLARD FILLED WITH CONCRETE, SAND BLASTED, PRIMED AND PAINTED TO MATCH SPECIFIC COLOR SELECTION
- 3 FINISHED GRADE

**8 BOLLARD DETAIL**  
 SCALE: 3/4" = 1'-0"



DATE: 06-12-2020  
 NAME: DLM  
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KEY PLAN

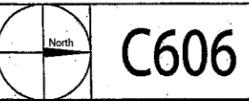
HEART OF TEXAS SMILES  
 DENTAL CLINIC  
 WOODWAY, TX

DATE	ISSUED FOR

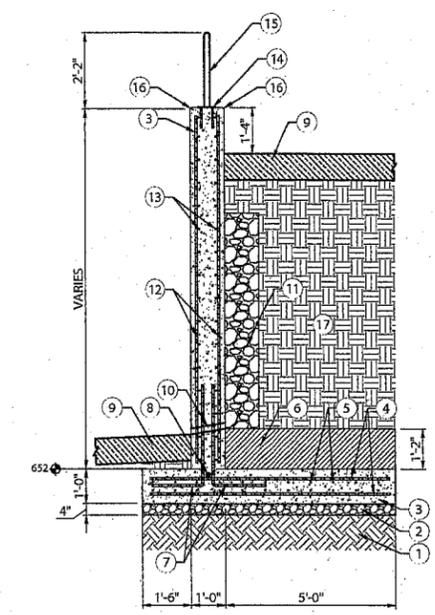
**CP&Y**  
**CP&Y, INC.**  
 TEXAS REGISTERED ENGINEERING FIRM  
 F-1741

PROJ. # HTSS1900768 PM: DLM  
 CK. BY: DLM DN. BY: ECM

CIVIL DETAILS







- 1 EXISTING SUBGRADE: COMPACTED TO 95% ASTM D698 @ 0% TO ± 2% OPTIMUM MOISTURE CONTENT.
- 2 CRUSHED LIMESTONE: TXDOT 247, TYPE 'A', GRADE 1-2, COMPACTED TO 95% ASTM D698 AT 0% TO ± 2% OPTIMUM MOISTURE CONTENT.
- 3 CONCRETE: TXDOT 421, CLASS 'S',  $F_c = 4,000$  PSI @ 28 DAYS.
- 4 REINFORCING: TXDOT 440, GRADE 60, #6 @ 15" O.C.
- 5 REINFORCING: TXDOT 440, GRADE 60, #4 @ 8" O.C.
- 6 IMPERVIOUS CLAY: COMPACTED TO 95% ASTM D698 @ 0% TO ± 2% OPTIMUM MOISTURE CONTENT, MINIMUM PLASTICITY INDEX: 60.
- 7 REINFORCING: TXDOT 440, GRADE 60, #6 DOWELS @ 15" O.C.
- 8 WATERSTOP: INSTALL AT CONSTRUCTION JOINT.
- 9 TOPSOIL: MINIMUM THICKNESS: 9"
- 10 WEEPHOLE: 2" Ø PVC PIPE CAST INTO WALL.
- 11 WASHED ROCK: 12" MINIMUM THICKNESS,  $d_{50} = 2"$ , ENCAPSULATE WITH GEOTEXTILE.
- 12 REINFORCING: TXDOT 440, GRADE 60, #6 @ 9" O.C.
- 13 REINFORCING: TXDOT 440, GRADE 60, #4 @ 8" O.C.
- 14 GALV. STEEL BASE PLATE: MINIMUM THICKNESS:  $\frac{3}{8}"$ , ATTACH TO  $\frac{3}{4}"$  Ø A325 GALV. STEEL ANCHOR ROD CAST INTO WALL WITH MINIMUM EMBEDMENT = 15"
- 15 GALV. STEEL GUARDRAIL: MIN HEIGHT = 26", ATTACH TO BASE PLATE PER MANUFACTURER RECOMMENDATIONS.
- 16 CHAMFER ALL EXPOSED EDGES  $\frac{3}{8}"$
- 17 SELECT FILL, INSTALLED IN 6" LIFTS, COMPACTED TO A MINIMUM 95% OF ASTM D698 MAX DRY DENSITY AT ± 3% OPTIMUM MOISTURE CONTENT.

**1** RETAINING WALL  
SCALE : 3/8" = 1'-0"



06-12-2020  
DATE: NAME: *D. Marek*

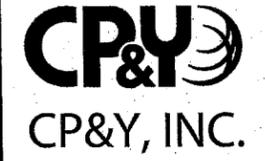
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KEY PLAN

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

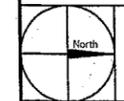
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F-1741

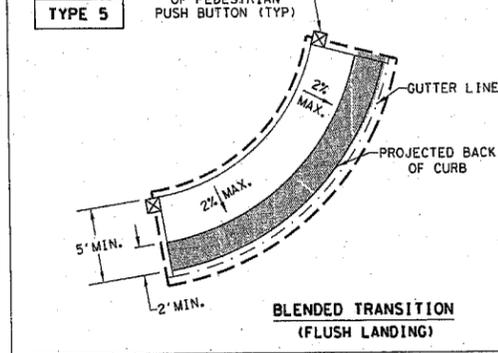
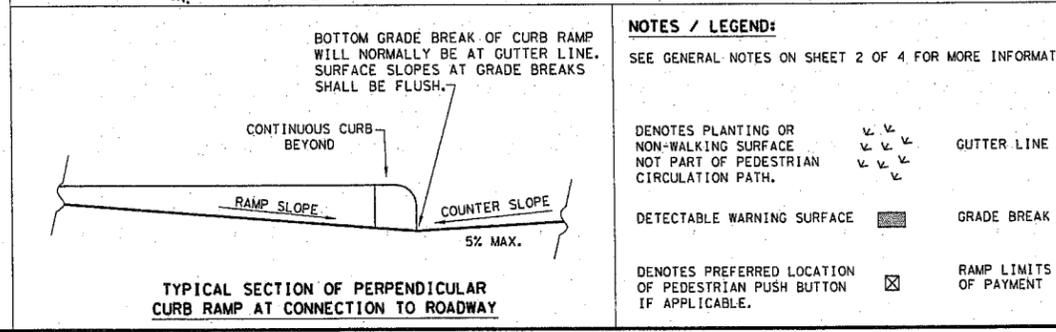
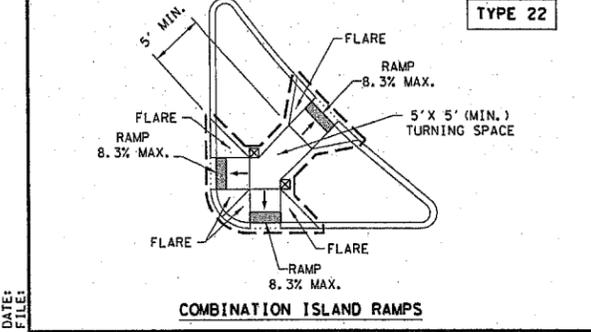
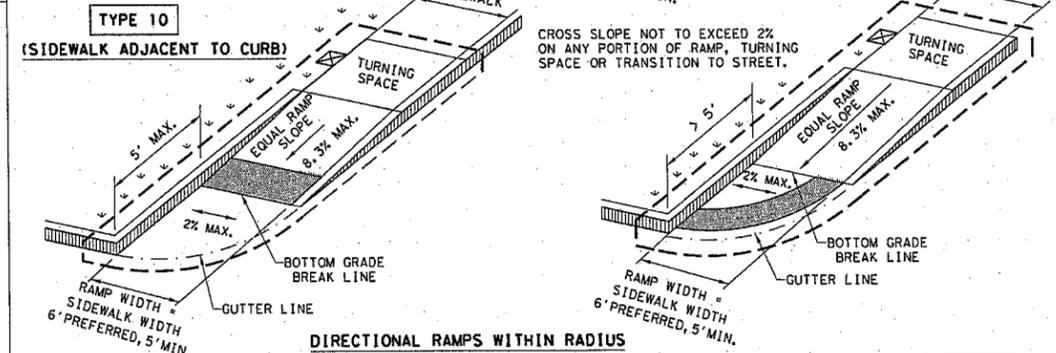
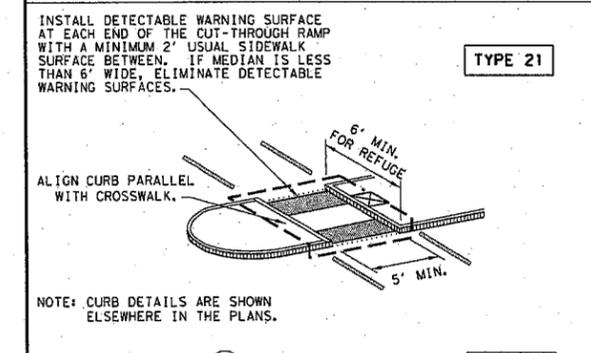
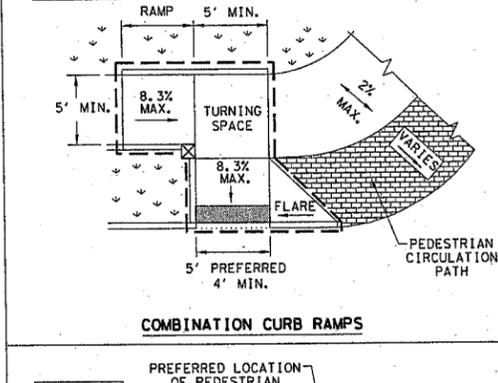
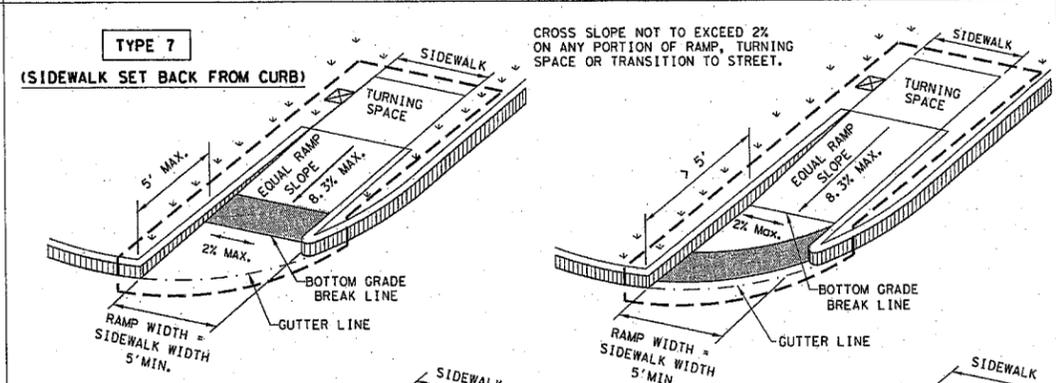
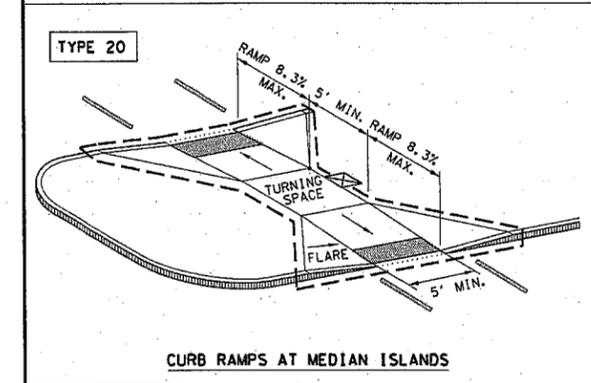
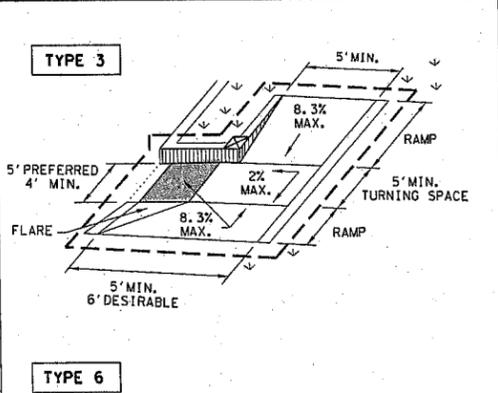
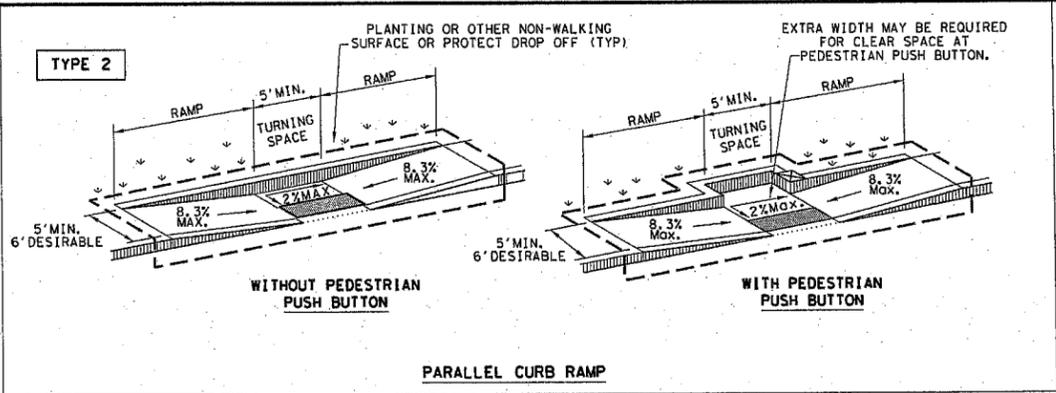
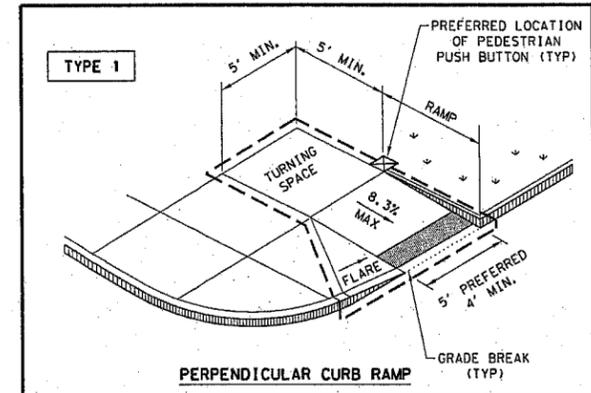
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CIVIL DETAILS



C608

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**NOTES / LEGEND:**

SEE GENERAL NOTES ON SHEET 2 OF 4 FOR MORE INFORMATION.

--- GUTTER LINE

..... GRADE BREAK

--- RAMP LIMITS OF PAYMENT

--- DENOTES PLANTING OR NON-WALKING SURFACE NOT PART OF PEDESTRIAN CIRCULATION PATH.

--- DENOTES PREFERRED LOCATION OF PEDESTRIAN PUSH BUTTON IF APPLICABLE.

**TEXAS DEPARTMENT OF TRANSPORTATION**  
Design Division Standard

**PEDESTRIAN FACILITIES CURB RAMPS**

**PED-18**

FILE: ped18

© TxDOT: MARCH, 2002

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/09	REVISED
2	05/20/12	REVISED
3	01/20/18	REVISED

PROJ. # HT551900768

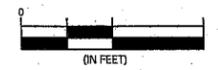
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**KEY PLAN**

HEART OF TEXAS SMILES  
DENTAL CLINIC  
WOODWAY, TX

DATE	ISSUED FOR

SHEET 1 OF 4



PROJ. # HT551900768

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**TXDOT RAMP DETAILS**

North

**C609**

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DATE: FILE:

**GENERAL NOTES**

**CURB RAMPS**

1. Install a curb ramp or blended transition at each pedestrian street crossing.
2. All slopes shown are maximum allowable. Cross slopes of 1.5% and lesser running should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
3. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
4. The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable. Where a 5' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 4' for short distances. 5' x 5' passing areas at intervals not to exceed 200' are required.
5. Turning Spaces shall be 5' x 5' minimum. Cross slope shall be maximum 2%.
6. Clear space at the bottom of curb ramps shall be a minimum of 4' x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
8. Additional information on curb ramp location, design, light reflective value and texture may be found in the latest draft of the Proposed Guidelines for Pedestrian Facilities in the Public Right of Way (PROWAG) as published by the U.S. Architectural and Transportation Barriers Compliance Board (Access Board).
9. To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curbs. Medians should be designed to provide accessible passage over or through them.
10. Small channelization islands, which do not provide a minimum 5' x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
12. Provide curb ramps to connect the pedestrian access route at each pedestrian street crossing. Handrails are not required on curb ramps.
13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
14. Place concrete at a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
15. Furnish and install No. 3 reinforcing steel bars at 18" o.c. both ways, unless otherwise directed.
16. Provide a smooth transition where the curb ramps connect to the street.
17. Curbs shown on sheet 1 within the limits of payment are considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
18. Existing features that comply with applicable standards may remain in place unless otherwise shown on the plans.

**DETECTABLE WARNING MATERIAL**

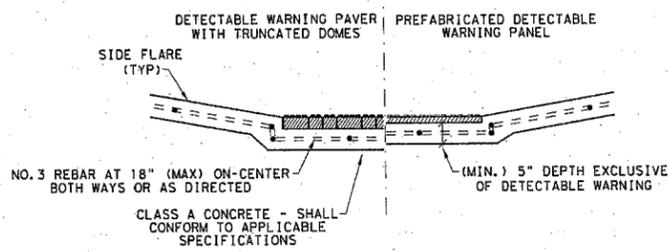
19. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with PROWAG. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cast-in-place dark brown or dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
20. Detectable Warning Materials must meet TxDOT Departmental Materials Specification DMS 4350 and be listed on the Material Producer List. Install products in accordance with manufacturer's specifications.
21. Detectable warning surfaces must be firm, stable and slip resistant.
22. Detectable warning surfaces shall be a minimum of 24 inches in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
23. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb and neither end of that edge is greater than 5 feet from the back of curb. Detectable warning surfaces may be curved along the corner radius.
24. Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.

**DETECTABLE WARNING PAVERS (IF USED)**

25. Furnish detectable warning paver units meeting all requirements of ASTM C-936, C-33. Lay in a two by two unit basket weave pattern or as directed.
26. Lay full-size units first followed by closure units consisting of at least 25 percent (25%) of a full unit. Cut detectable warning paver units using a power saw.

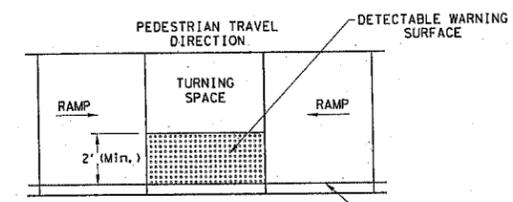
**SIDEWALKS**

27. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within unobstructed reach range specified in PROWAG section R406.
28. Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.
29. Street grades and cross slopes shall be as shown elsewhere in the plans.
30. Changes in level greater than 1/4 inch are not permitted.
31. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than five percent (5%) must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with PROWAG R409.
32. Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.
33. Driveways and turnouts shall be constructed and paid for in accordance with Item "Intersections, Driveways and Turnouts". Sidewalks shall be constructed and paid for in accordance with Item, "Sidewalks".
34. Sidewalk details are shown elsewhere in the plans.

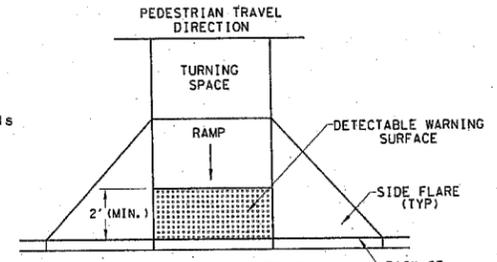


**SECTION VIEW DETAIL  
CURB RAMP AT DETECTIBLE WARNINGS**

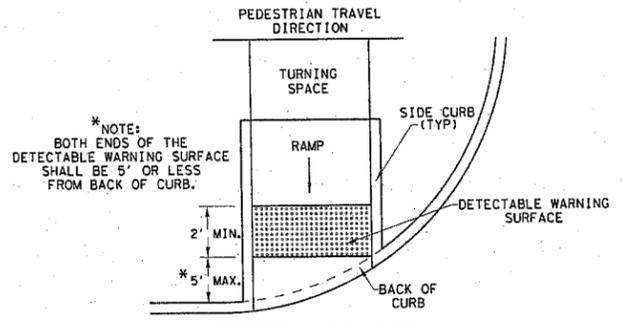
**DETECTABLE WARNING SURFACE DETAILS**



**PARALLEL CURB RAMP  
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON LANDING AT STREET EDGE.**



**PERPENDICULAR CURB RAMP  
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.**



**DIRECTIONAL CURB RAMP  
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.**

\* NOTE:  
BOTH ENDS OF THE  
DETECTABLE WARNING SURFACE  
SHALL BE 5' OR LESS  
FROM BACK OF CURB.

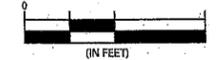
SHEET 2 OF 4

<b>PEDESTRIAN FACILITIES CURB RAMPS</b>			
<b>PED-18</b>			
FILE: DB018	DN: TxDOT	DN: VP	CK: KM
© TxDOT: MARCH, 2002	CONT: SECT	JOB:	HIGHWAY:
REVISIONS	DIST:	COUNTY:	SHEET NO.:
REVISED 06, 2009			
REVISED 03, 2012			
REVISED 01, 2015			



06-12-2020  
DATE: NAME: *David L. Marek*

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID L. MAREK #83327 ON THE DATE SHOWN ON THE STAMP. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**KEY PLAN**

HEART OF TEXAS SMILES  
 DENTAL CLINIC  
 WOODWAY, TX

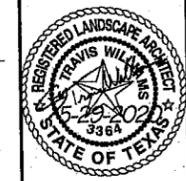
DATE	ISSUED FOR

**CP&Y, INC.**  
 TEXAS REGISTERED  
 ENGINEERING FIRM  
 F-1741

PROJ. # HTSS1900768 PM: DLM  
CK BY: DLM DNL BY: ECM

**TXDOT RAMP  
DETAILS**

**C610**



**Heart of Texas Smiles**  
 WOODWAY, TEXAS



NO.	REVISION	DATE

Project #:  
 Date: MAY 2020  
 Drawn by: TW  
 Checked by: TW

LANDSCAPE  
 SITE PLAN  
**L1.1**

**LANDSCAPE NOTES AND SPECIFICATIONS**

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK IN STRICT ACCORDANCE WITH THE PLANTING PLAN, PLANT LIST. THIS INCLUDES BUT IS NOT LIMITED TO FERTILIZER, MULCH, STAKES, TIES, GUY WIRES, CABLES AND ALL OTHER NECESSARY EQUIPMENT TO COMPLETE THIS WORK. VERIFY ALL QUANTITIES LISTED ON PLANT SCHEDULE AND PLAN AND INSTALL THE GREATER OF THE TWO. PLANT LEGEND IS FOR INFORMATION ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES LISTED IN PLANT KEY.
2. THE LANDSCAPE CONTRACTOR MUST SUPPLY ALL PLANTS AS SPECIFIED, IN THE SIZES AND QUANTITIES LISTED ON THE PLANS.
3. SUBSTITUTIONS TO ANY OF THE WORK, MATERIALS, OR EQUIPMENT MAY NOT BE MADE WITHOUT PERMISSION OF THE ARCHITECT.
4. LANDSCAPE CONTRACTOR AND OR IRRIGATION CONTRACTOR SHALL VERIFY EXISTING CONDITIONS ON SITE. ANY PROBLEMS OR DISCREPANCIES FROM THE PLANS OR SPECIFICATIONS SHOULD BE REPORTED TO THE ARCHITECT.
5. LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
6. PLANT MATERIAL SHALL CONFORM TO LOCAL NURSERY AND INDUSTRY STANDARDS. ALL PLANT MATERIAL WILL HAVE GOOD STRUCTURE AND SHAPE WHEN PLANTED AND BE FREE FROM PESTS OR DAMAGE. ALL TREES WILL HAVE A STRONG, WELL DEVELOPED, UNGUT CENTRAL LEADER. ANY BRANCHES BROKEN IN HANDLING AND PLANTING WILL BE REMOVED USING PROPER PRUNING TECHNIQUES.
7. LANDSCAPE CONTRACTOR WILL RESTORE DISTURBED FINISH GRADES TO ORIGINAL CONDITION.
8. LANDSCAPE CONTRACTOR WILL CONFIRM OPERATION AND COVERAGE OF NEW IRRIGATION SYSTEM IN ALL PLANTING AREAS.
9. ALL PLANTS WILL BE WARRANTED FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE. OWNER WILL BE RESPONSIBLE FOR PROPER MAINTENANCE OF PLANTS AFTER FINAL ACCEPTANCE. DURING WARRANTY PERIOD DEAD AND UNSIGHTLY PLANT MATERIAL WILL BE REMOVED IMMEDIATELY. ONLY ONE REPLACEMENT PER PLANT WILL BE DONE. WARRANTY EXCLUDES DAMAGES CAUSED BY VANDALISM, FREEZE, DROUGHT, INSECT INFESTATION, OR OTHER ACTS OF GOD.
10. COMPOST MATERIAL TO BE NATURALLY PRODUCED AND IS TO BE TILLED INTO ALL PLANTING AREAS. A 1/2" LAYER IS TO BE TILLED INTO EXISTING SOIL TO A DEPTH OF 6". MULCH IS TO BE SHREDED HARDWOOD MULCH AND A 3" LAYER IS TO BE APPLIED TO ALL PLANTING AREAS AND TREES.
11. STEEL EDGING SHALL BE INSTALLED IN AREAS WHERE PLANTING BEDS MEET SOD AND/OR DECOMPOSED GRANITE AND/OR ANY COMBINATION THERE OF AS SHOWN ON THE PLANTING PLAN.
12. STAKE ALL SHADE AND ORNAMENTAL TREES. INCLUDE STAKING IN ESTIMATE BUT VERIFY NEED WITH LANDSCAPE DESIGNER.
13. ALL PLANTING AREAS WILL BE RAKED TO FINAL GRADE AND LIGHTLY COMPACTED BY WATERING.
14. ALL PLANT MATERIAL WILL BE DEEP WATERED UPON PLANTING AND SOIL TAMPED AROUND ROOT BALLS TO REMOVE ANY AIR POCKETS.
15. AN UNDERGROUND IRRIGATION SYSTEM WILL BE INSTALLED TO IRRIGATE ALL REQUIRED LANDSCAPE AREAS.
16. REMOVE ALL DEBRIS GENERATED BY WORK OPERATIONS FROM THE SITE DAILY.
17. ALL PAVED AREAS WILL BE CLEANED DAILY BY SWEEPING. REMOVE TIRE MARKS AND OIL DRIPS FROM ALL SURFACES.
18. ALL PLANTING AREAS WILL BE IN A RAKED LEVEL CONDITION, FREE OF DEBRIS AND PAVED SURFACES WILL BE IN A BROOM CLEAN CONDITION READY FOR FINAL ACCEPTANCE BY OWNER.
19. GENERAL CONTRACTOR TO FINAL GRADE SITE AND IMPORT ALL TOPSOIL EXCEPT FOR COMPOST MATERIAL WHICH THE LANDSCAPE CONTRACTOR IS TO PROVIDE TO AMEND PLANTING AREAS. GENERAL CONTRACTOR TO LEAVE TOPSOIL FINAL GRADED AREAS FOR SOD 2" LOWER THAN ADJACENT SIDEWALKS FOR INSTALLATION OF SOD. LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR LIGHT HAND RAKING OF SOD AREAS PRIOR TO SOD INSTALLATION ONLY.
20. LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR PREPARING ALL PLANTING AREAS AS SPECIFIED. LANDSCAPE CONTRACTOR TO MAKE SURE WATER WILL DRAIN AWAY FROM FOUNDATION OF BUILDING AND PLANTING BEDS. IF A PROBLEM IS DETECTED THE LANDSCAPE CONTRACTOR IS TO ALERT GENERAL CONTRACTOR OF THE PROBLEM.

**IRRIGATION NOTES**

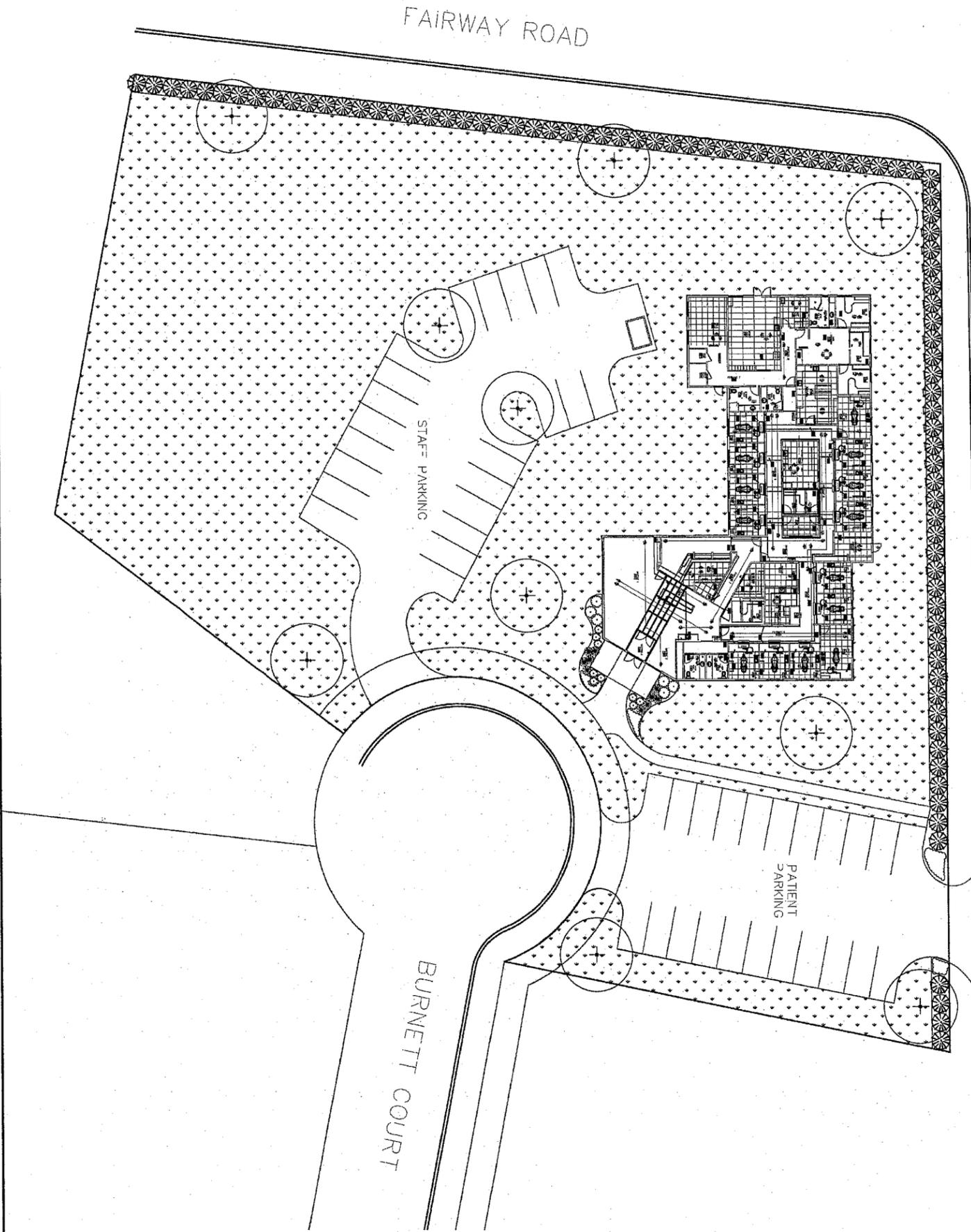
1. IRRIGATION SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE.
2. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK.
3. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR THE SCOPE OF THE WORK TO BE PERFORMED AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
4. INSTALL ALL VALVES, ISOLATION VALVES, QUICK COUPLERS, LOT STUB UPS AND WIRE SPLICES IN APPROPRIATELY SIZED BOXES.
5. ALL SLEEVES ARE TO BE INSTALLED BY THE GENERAL CONTRACTOR.
6. ALL LOCAL AND STATE REGULATIONS SHALL BE MET OR EXCEEDED BY IRRIGATION CONTRACTOR.
7. IRRIGATION CONTRACTOR TO VERIFY LOCATION OF WATER METER PRIOR TO DESIGNING SYSTEM.
8. IRRIGATION CONTRACTOR TO OBTAIN LOCATION FOR IRRIGATION CONTROLLER FROM ARCHITECT / GENERAL CONTRACTOR.
9. IRRIGATION SYSTEM TO BE CONSTRUCTED USING HUNTER IRRIGATION PARTS AND ACCESSORIES.
10. IRRIGATION SYSTEM DESIGN TO BE SUBMITTED TO ARCHITECT FOR DESIGN APPROVAL PRIOR TO INSTALLATION.
11. SYSTEM TO BE DESIGNED USING EITHER ROTOR AND SPRAY HEADS. DRIP IRRIGATION IS NOT TO BE USED.
12. SHADE AND ORNAMENTAL TREES ARE TO HAVE TREE BUBBLERS INSTALLED ON SEPARATE STATIONS FROM REST OF SYSTEM.
13. IRRIGATION CONTRACTORS ARE TO BID IRRIGATION SYSTEM ASSUMING GENERAL CONTRACTOR WILL PROVIDE TWO DEDICATED 2" WATER METERS FOR IRRIGATION SYSTEM.

**PLANT KEY:**

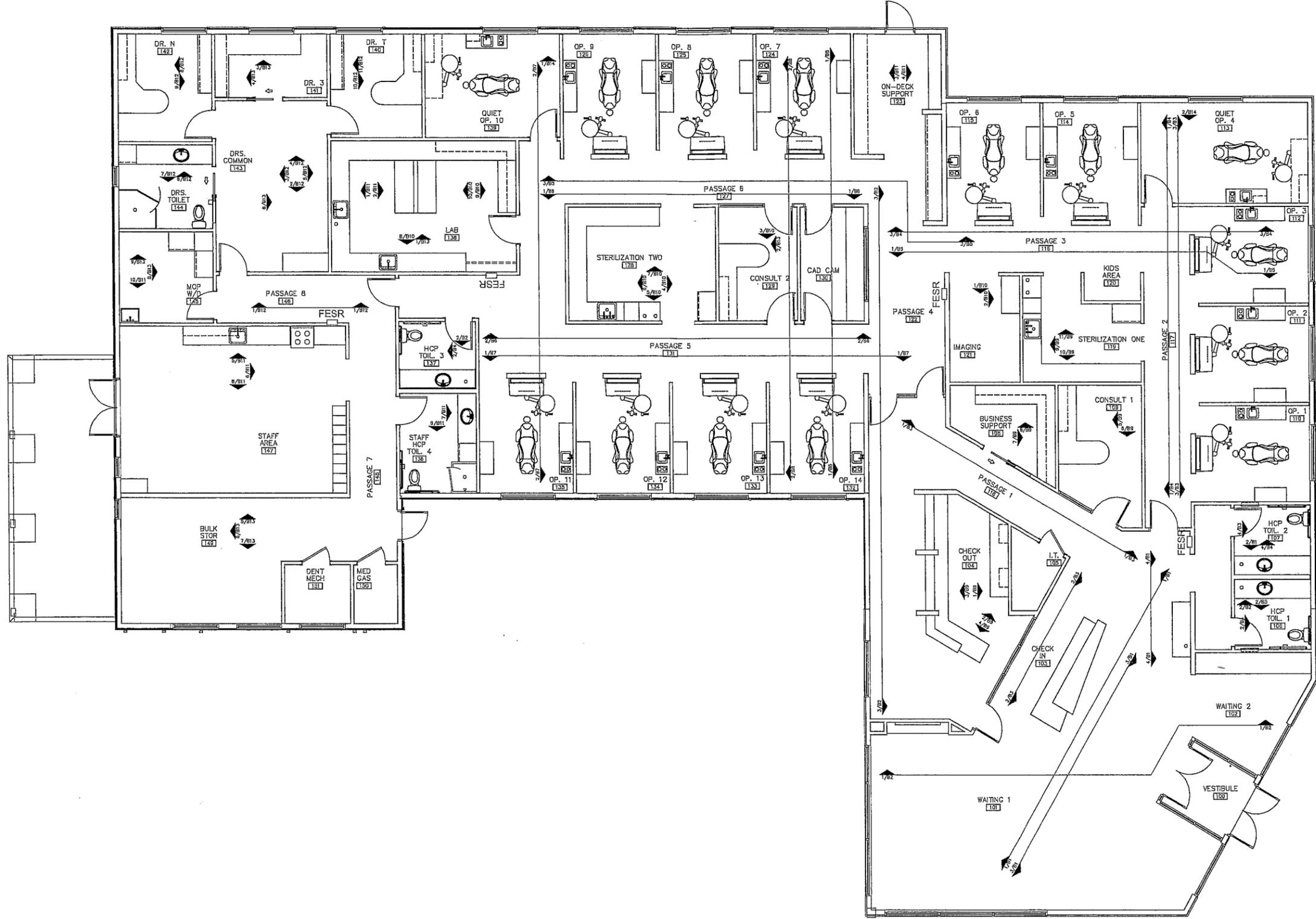
SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE
SHADE TREES				
+	10	QUERCUS POLYMORPHA	MEXICAN WHITE OAK	MIN 3" CAL. - 5' HT.
ORNAMENTAL TREES				
BULBS AND GROUND COVER				
⊗	10	MUHLENBERGIA CAPILLARIS	GULF MUHLY GRASS	3 GALLON
⊙	6	LIGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE LIGUSTRUM	3 GALLON
⊗	9	ROSA X MEIDORFORA	CORAL DRIFT ROSE	3 GALLON
⊗	88	ILEX CORNUTA 'NELLIE R STEVES'	NELLIE R STEVES	7 GALLON - 3' HT.
⊗	25	LANTANA SPP. 'NEW GOLD'	'NEW GOLD' LANTANA	1 GALLON - 18" O.C.
LAWN	AS SHOWN	CYNODON DACTYLON	SOLID BERMUDA SOD	SQ. YDS.

**LANDSCAPE REQUIREMENTS:**

TOTAL BOUNDARY	= 608 LINEAR FT.
TOTAL AREA REQUIRED =10% OF AREA (70,534)	= 7,053 SQ. FT
TOTAL AREA SHOWN	= 46,192 SQ. FT
TOTAL BOUNDARY TREE REQUIRED @ 1:150 LINEAR FEET OF FRONTAGE	= 6 TREES
BOUNDARY TREES SHOWN	= 6 TREES SHOWN
TOTAL INTERIOR LANDSCAPE REQUIRED @ 1:400 SQ. FT. OF REQUIRED INTERIOR LANDSCAPE SHOWN	= 1,463 SQ. FT.
TOTAL INTERIOR TREES REQUIRED @ 1:400 SQ. FT. OF REQUIRED INTERIOR LANDSCAPE	= 4 TREES
TOTAL INTERIOR TREES SHOWN	= 4 TREES



**1 SITE PLAN**  
 SCALE: 1" = 20'-0"



FLOOR PLAN  
3/16 = 1'-0"



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Date: 06-12-2020  
Job No: 190088-01  
Sheet No.:

A1

HEART OF TEXAS SMILES  
New General Practice Dental Facility  
117 BURNETT COURT, WOODWAY, TX 76712

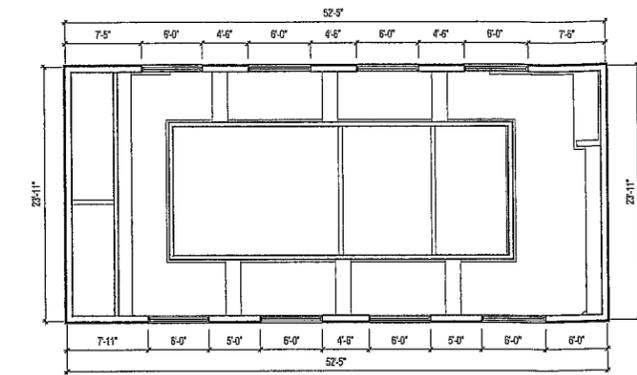


practice design group

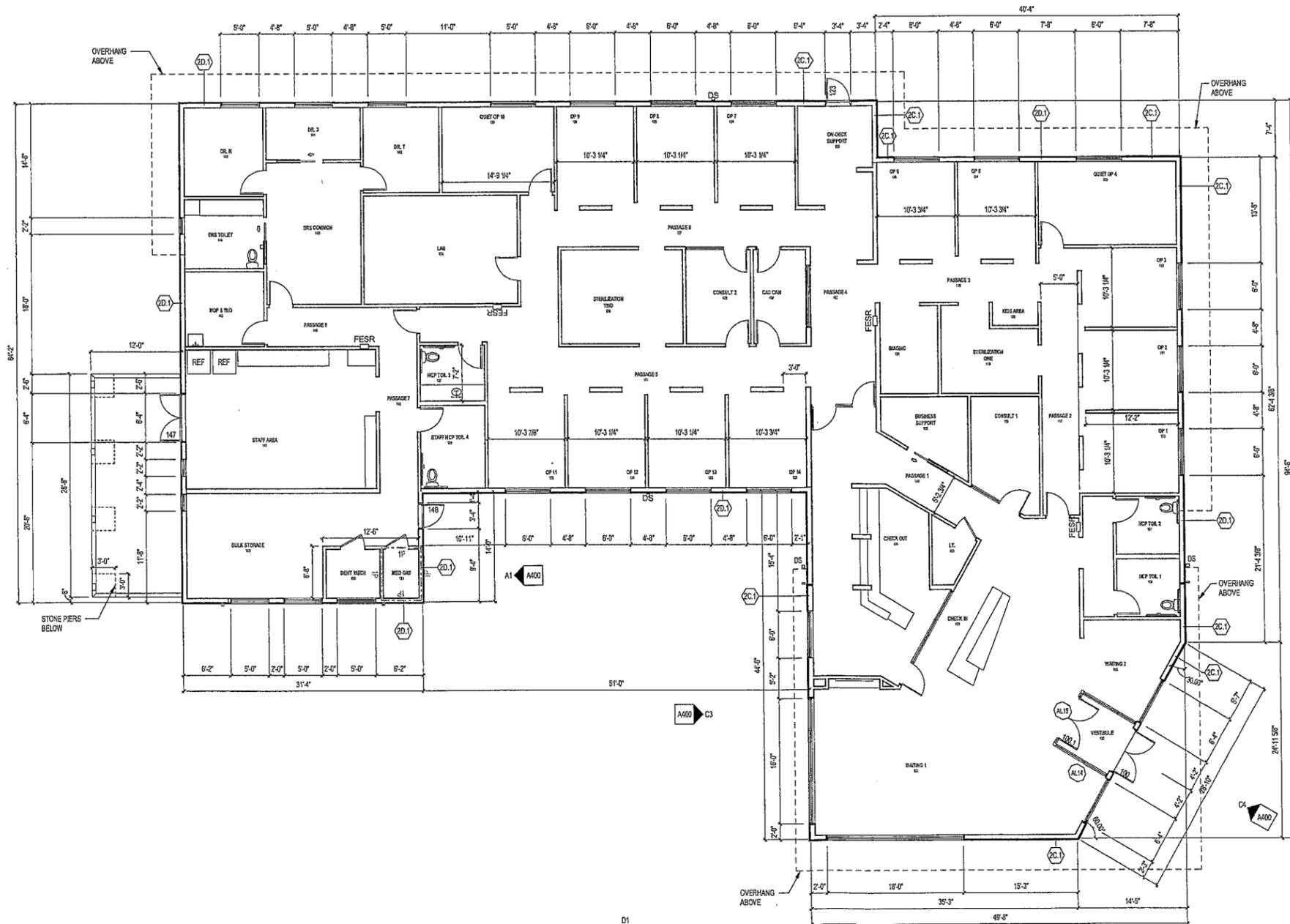
pro  
PLUNKETT RAYVICH  
ARCHITECTS, LLP

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TRUE NORTH PLAN NORTH CLERESTORY PLAN 1/8" = 1'-0"



FLOOR PLAN SYMBOLS LEGEND

	SECTION REFERENCE		NEW WALLPARTITION
	EXTERIOR ELEVATION		NEW DOOR
	INTERIOR ELEVATION		DETAIL REFERENCE
	FLOOR PLAN NOTE		WINDOW TYPE
	ONE HOUR RATED FIRE PARTITION		WALLPARTITION TYPE
			FLOOR DRAIN - PITCH FLOOR TO DRAIN
			SEMI-RECESSED FIRE EXTINGUISHER

FLOOR PLAN GENERAL NOTES

A. EXTERIOR STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD. FACE OF STUD IS ALIGNED WITH THE EXTERIOR FACE OF FOUNDATION.

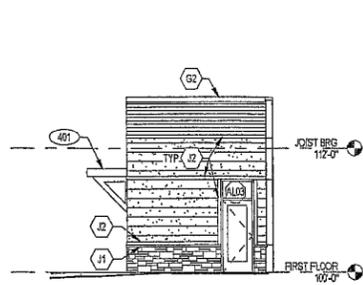
B. REFER TO PRACTICE DESIGN GROUP (PDG) DRAWINGS FOR INTERIOR DIMENSION PLANS, INTERIOR PARTITION TYPES, INTERIOR DOOR AND FRAME TYPES, ROOM FINISH SCHEDULES AND NOTES.

C. REFER TO SHEET A891 FOR EXTERIOR DOOR SCHEDULE, DOOR TYPES, FRAME TYPES, AND NOTES.

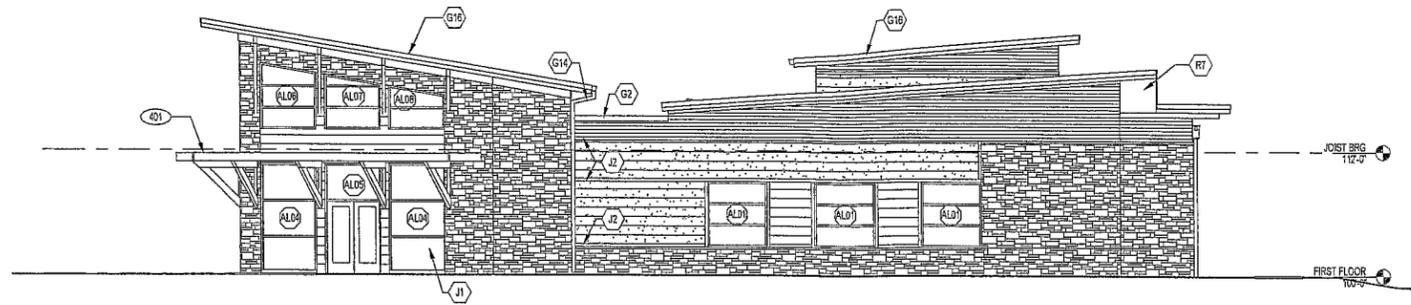
FLOOR PLAN NOTES	
NOTE #	FLOOR PLAN NOTE

EXTERIOR WALL TYPE SCHEDULE	
MARK	ASSEMBLY DESCRIPTION
2C.1	CAST STONE CLAD WALL CONSISTING OF MANUFACTURED STONE, SETTING BED W/REINFORCING, ONE LAYER BUILDING WRAP ON SHEATHING SYSTEM CONSISTING OF INTEGRATED WEATHER RESISTIVE BARRIER WITH TAPED JOINTS ON 7/16" EXTERIOR GRADE OSB SHEATHING, 2 X 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS SPRAY APPLIED OPEN CELL INSULATION, AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
2D.1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING, ON SHEATHING SYSTEM CONSISTING OF INTEGRATED WEATHER RESISTIVE BARRIER WITH TAPED JOINTS ON 7/16" EXTERIOR GRADE OSB SHEATHING, ON 2 X 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS SPRAY APPLIED OPEN CELL INSULATION, AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.

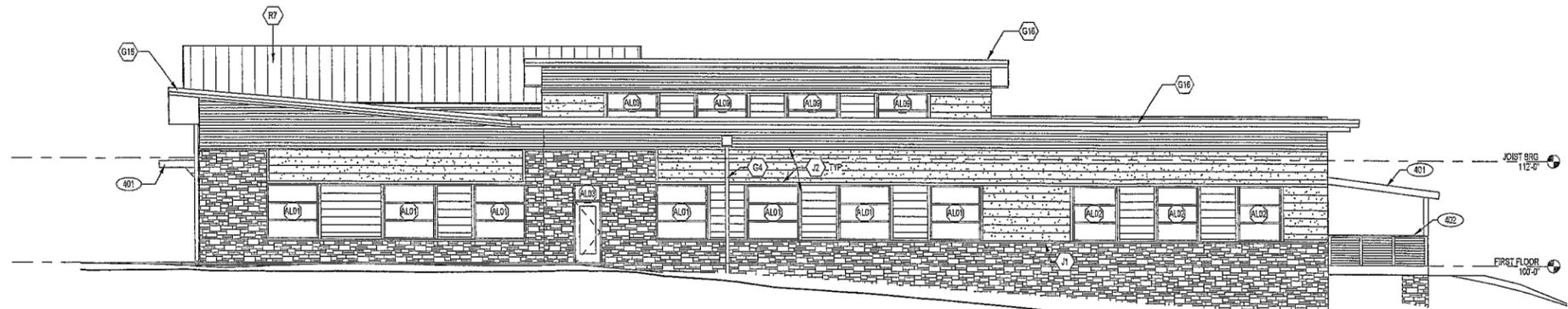
BUILDING AREA	
OUTDOOR DECK	338 SF
AIR CONDITIONED FOOTPRINT	8,890 SF



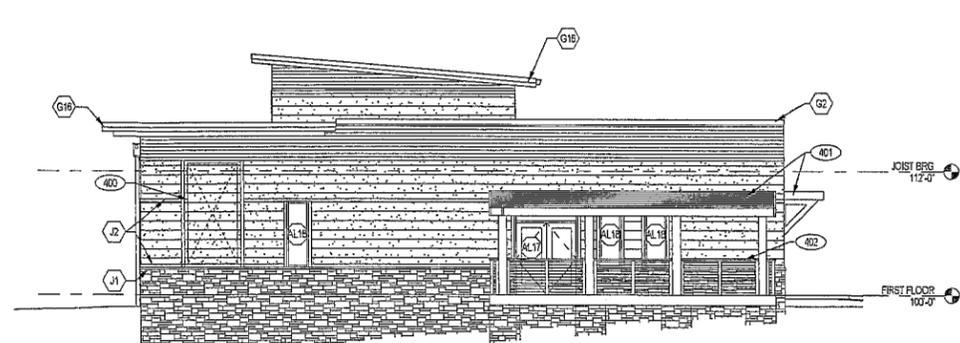
A1 PARTIAL EAST ELEVATION  
1/8" = 1'-0"



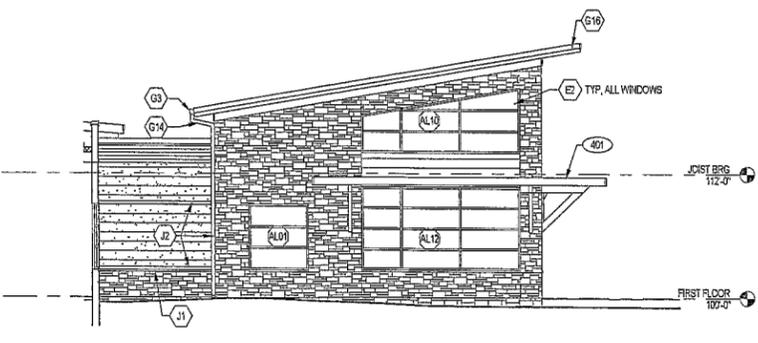
A2 EAST ELEVATION  
1/8" = 1'-0"



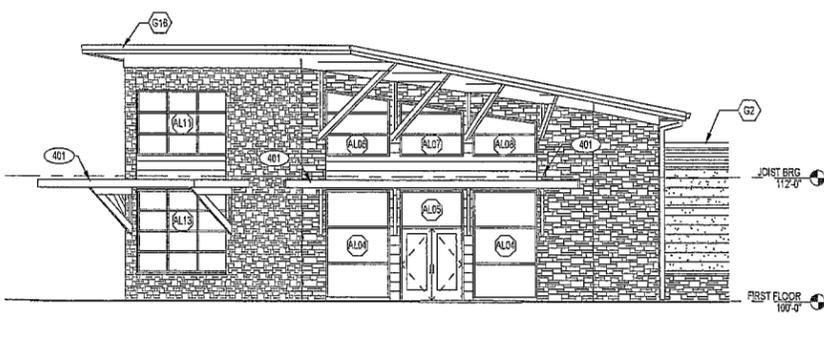
B1 NORTH ELEVATION  
1/8" = 1'-0"



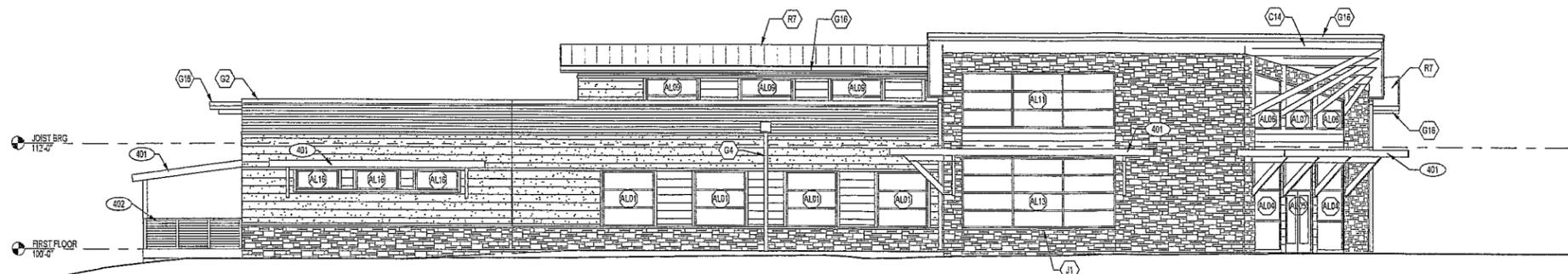
C1 WEST ELEVATION @ DECK  
1/8" = 1'-0"



C3 WEST ELEVATION @ WAITING ROOM  
1/8" = 1'-0"



C4 SOUTHEAST ELEVATION  
1/8" = 1'-0"



D1 SOUTH ELEVATION  
1/8" = 1'-0"

EXTERIOR ELEVATIONS SYMBOLS LEGEND

- SECTION REFERENCE
- ELEVATION NOTE
- DETAIL REFERENCE
- WINDOW TYPE
- CONSTRUCTION KEYNOTE

EXTERIOR FINISH PATTERNS

- STANDING SEAM METAL ROOF PANEL, CHARCOAL GRAY
- FIBER CEMENT LAP SIDING - NARROW, SMOOTH (TIMBER BARK)
- FIBER CEMENT LAP SIDING - WIDE, SMOOTH (IRON GRAY)
- MANUFACTURED STONE - CORONADO, SAWTOOTH LEDGE, WHITE
- FIBER CEMENT SIDING - WIDE, CEDAR (TIMBER BARK)

EXTERIOR ELEVATIONS GENERAL NOTES

- A. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)
- B. REFER TO SHEET A891 FOR WINDOW FRAME ELEVATIONS
- C. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
- D. FIBER CEMENT COLORS TO BE FINISHED.
- E. PROVIDE EQUIPMENT SCREENING AT EXTERIOR MECHANICAL EQUIPMENT, STYLE AND LOCATION(S) T.B.D.

EXTERIOR ELEVATION NOTES	
NOTE #	EXTERIOR ELEVATION NOTE
400	EXTERIOR LOGOSIGNAGE - COORDINATE GRAPHICS AND SIZE WITH OWNER.
401	ALUMINUM PERGOLA CANOPY SYSTEM. COLOR TO MATCH BUILDING TRIM FASCIA.
402	PAINTED METAL RAILING.

CONSTRUCTION TYPES

TAG	CONSTRUCTION DESCRIPTION
C14	EXTERIOR SOFFIT: METAL SOFFIT PANEL SYSTEM (HALF OR FULL PERFORATED) ON 2X WOOD OUTLOOKERS. COPPER FINISH.
E2	ALUMINUM STOREFRONT SYSTEM WITH INSULATING GLASS. BASIS OF DESIGN: KAWNEER TRIFAS 451 THERMAL (CENTER GLAZED) WITH SOLARBAN 90 GLAZING.
G2	METAL COPING SYSTEM: METAL COPING ON 2X WOOD BLOCKING
G3	METAL GUTTER.
G4	METAL SCUPPER WITH DOWNSPOUT.
G14	METAL DOWNSPOUT.
G16	METAL WRAPPED FASCIA: METAL FASCIA ON 1x WOOD BLOCKING
J1	STONE MANUFACTURER'S WATERBARRIER.
J2	3-1/2" X 5/8" SMOOTH FIBER-CEMENT TRIM
R3A	SINGLE PLY ROOFING SYSTEM FULLY ADHERED THERMOPLASTIC MEMBRANE ON 5/8" EXTERIOR SHEATHING ON RIGID INSULATION (MIN-R-30) ON MINIMALLY SLOPED PRE-ENGINEERED WOOD TRUSSES.
R7	PREFORMED METAL ROOFING SYSTEM: STANDING SEAM METAL ROOF PANELS ON UNDERLAYMENT MEMBRANE ON (EDIT FOR ROOF FRAMING/DECKING/SUBSTRATE)

6/11/2020 11:13:19 AM DRAWN BY: DMN PROGRESS SET

NOT FOR CONSTRUCTION  
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Date: 06-12-2020  
Job No: 190088-01  
Sheet No:

A400

HEART OF TEXAS SMILES  
GENERAL PRACTICE DENTAL CLINIC  
117 BURNETT COURT, WOODWAY, TX 76712

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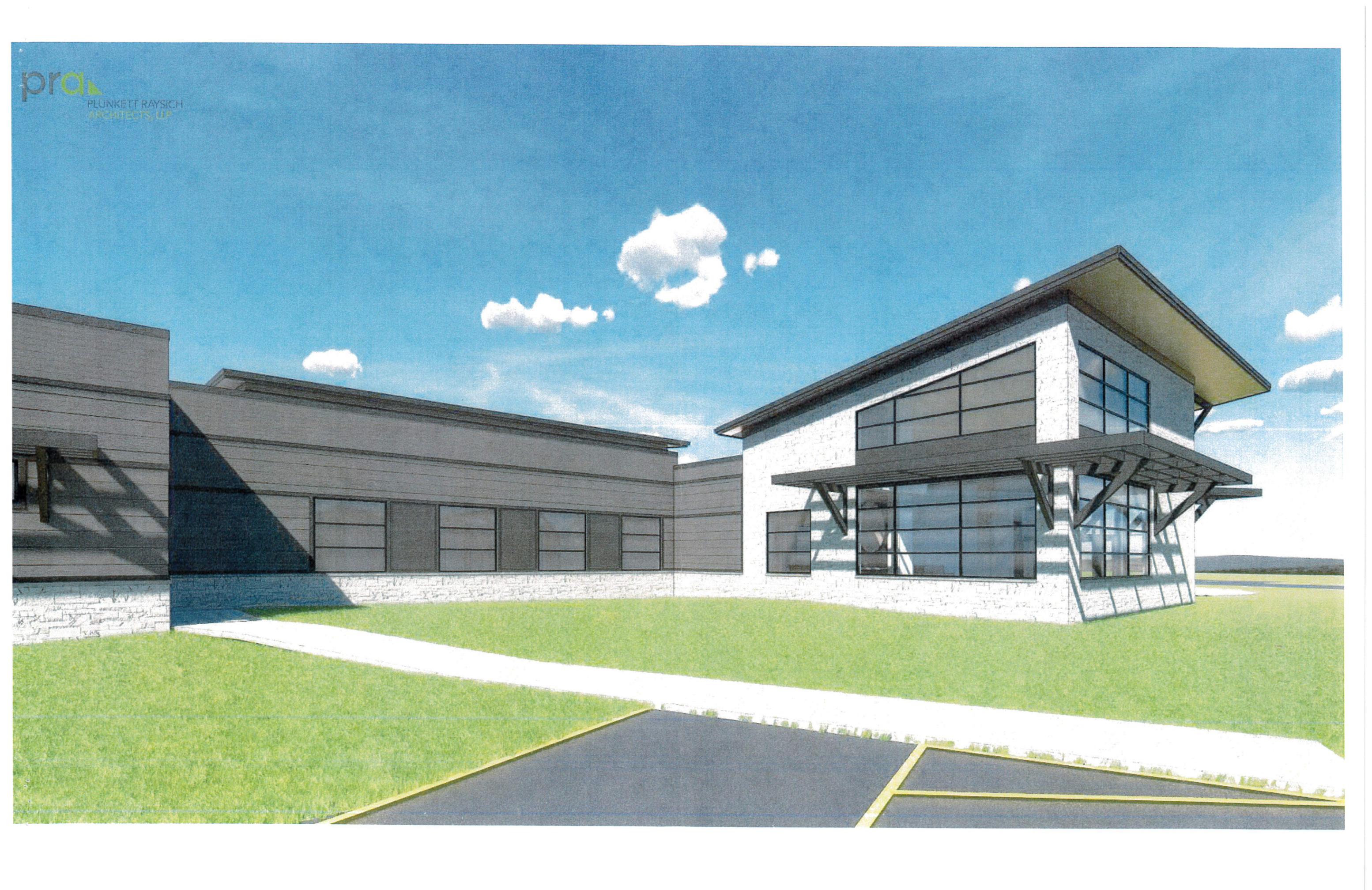
EXTERIOR ELEVATIONS













**CITY OF WOODWAY  
PLANNING AND ZONING COMMISSION AGENDA**

**AGENDA ITEM:** 4  
**AGENDA DATE:** July 14, 2020

**SUBJECT:**

**Discussion and consider action on** preliminary plat of Lot 1, Block 1, Luan Addition to the City of Woodway, being all of that called 0.933 acres of land described in a deed to Jeton Haxhijaj and Bahrije Haxhijaj as recorded in McLennan County Clerk's document 2019003825 of the Official Public Records of McLennan County, Texas.

**DISCUSSION:**

Aaron McMillan (applicant) submitted a preliminary plat of Lot 1, Block 1, Luan Addition to the City of Woodway, being all of that called 0.933 acres of land described in a deed to Jeton Haxhijaj and Bahrije Haxhijaj as recorded in McLennan County Clerk's document 2019003825 of the Official Public Records of McLennan County, Texas.

Please see attached letter from City Engineer.

City staff has requested that the applicant be present to answer any questions from the Planning and Zoning Commission.

**ACTION RECOMMENDED:**

Recommend conditional approval of preliminary plat of Lot 1, Block 1, Luan Addition to the City of Woodway, being all of that called 0.933 acres of land described in a deed to Jeton Haxhijaj and Bahrije Haxhijaj as recorded in McLennan County Clerk's document 2019003825 of the Official Public Records of McLennan County, Texas.



Prepared by Director of Community Services



Approved by City Manager



City of **WOODWAY**  
Community Services & Development

[www.woodway-texas.com](http://www.woodway-texas.com)

924 ESTATES DRIVE • WOODWAY, TEXAS 76712-3432 • 254/772-4050 • FAX 254/399-6518

July 7, 2020

City of Woodway  
924 Estates Drive  
Woodway, Texas 76712

ATTN: Planning and Zoning Commission

Re: Preliminary Plat – Luan Addition, Lot 1 Block 1

Dear Commissioners:

Pursuant to the requirements of the City's Subdivision Ordinance, I have reviewed the preliminary plat for the above referenced subdivision as delivered to the City of Woodway, and have determined the following:

In accordance with **Section 17-7:**

Please provide 4, 18" X 24" corrected copies, along with a 11" X 17" copy and an electronic copy of the proposed preliminary plat. include a letter of transmittal to the City of Woodway.

In accordance with **Section 17-7(c):**

Please provide the location of all existing sanitary sewers, water mains, storm sewers, gas mains, electric and telephone lines, culverts, or other underground and overhead structures or utilities within the tract and immediately adjacent thereto, with pipe sizes, grades and location. Please provide a utility plan for the proposed lot (sewer and water access). Provide all easements on and adjacent to the property.

Plat Note 2, please verify the electric provider on this plat.

In accordance with **Section 17-7(e):**

The proposed land use is Planned Commercial.

In accordance with **Section 17-7(g):**

Please provide location, size and flow line of existing drainage structures.

In accordance with **Section 17-7(i):**

Please provide a scale of not more than 2000 ft to an inch on the vicinity map.

In accordance with **Section 17-7(j):**

A preliminary drainage study as required by the city specifications and design standards shall be attached to the preliminary plat.



*City of* **WOODWAY**  
Community Services & Development

[www.woodway-texas.com](http://www.woodway-texas.com)

924 ESTATES DRIVE • WOODWAY, TEXAS 76712-3432 • 254/772-4050 • FAX 254/399-6518

In accordance with **Section 17-7(k)**:

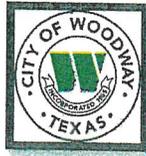
Please provide an engineer statement of the maximum amount of water use for each lot based accordance with TCEQ requirements.

1. The location and size of all existing water treatment, storage and transportation facilities within the city which will serve the proposed subdivision, together with such treatment, storage, and transportation facilities proposed to be constructed by the subdivider and which will serve the proposed subdivision, appear to be adequate to provide sufficient water supply, volume and pressure to serve each proposed lot and each use within the proposed subdivision.

Based on the findings and approvals, city staff recommends the Commission's conditional approval pending these minor corrections of the preliminary plat for this subdivision.

Sincerely,

Mitch R. Davison, P.E.  
City Engineer



**CITY OF WOODWAY PRELIMINARY PLAT/REPLAT SUBMITTAL FORM**

(ALL INFORMATION REQUESTED MUST BE PROVIDED)

**Items to be completed by Applicant**

**Check one of the following:**

- This submittal is a **plat** of acreage
- This submittal is a **replat**
- This submittal is an **amended plat**

**Meeting Dates:**

7/14/20  
\_\_\_\_\_  
\_\_\_\_\_

**Current legal description of property:**

Being all of that called 0.93 acres of land described in a deed to Jeton  
Haxhijaj as recorded in McLennan County clerks document 2019003825 of  
the Official Public Records of McLennan County, Texas

**Proposed legal description of property (must list all lot(s), block(s) and name of addition:**

White TB Tract 1 Acres 0.93  
\_\_\_\_\_  
\_\_\_\_\_

**Applicant information:**

Applicant name: 1519 Surveying

Mailing address: 5054 Franklin Ave Suite A Waco, TX 76710

Telephone/fax numbers: 254-776-1519

Alternate contact: \_\_\_\_\_

Telephone/fax numbers of alternate contact: \_\_\_\_\_

Applicant's Signature: [Handwritten Signature]

Date: 6-15-20

**Items to be completed by office:**

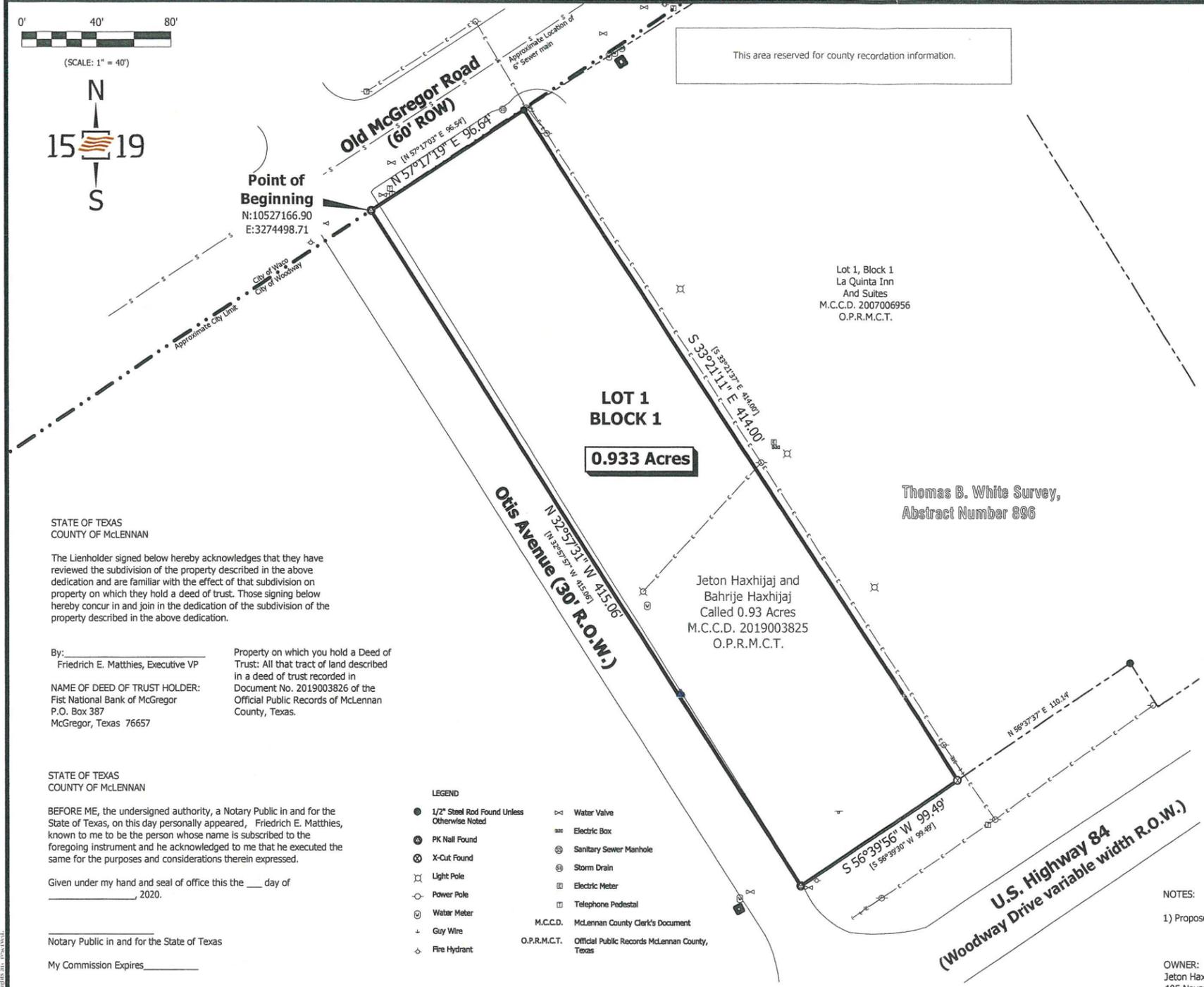
Date of submittal: 6/15/20 Submittal accepted by: Amy Norak

\$150.00 fee paid Date of notification to City Secretary: 6/15/20

Staff level review conducted by:

- John Norman
- Cory Turnmire

Date: 6/15/20



STATE OF TEXAS  
COUNTY OF McLENNAN

BEING all that tract of land in the City of Woodway, McLennan County, Texas, out of the Thomas B. White Survey, Abstract Number 896, being all of that called 0.93 acres of land described in a deed to Jeton Haxhijaj and Bahrije Haxhijaj as recorded in McLennan County Clerk's Document (M.C.C.D.) 2019003825 of the Official Public Records of McLennan County, Texas and being further described as follows:

**BEGINNING** at a PK nail found with washer stamped "WALKER" for the West corner of said 0.93 acres being in the intersection of the Northeast line of Otis Avenue and the Southeast line of Old McGregor Road;

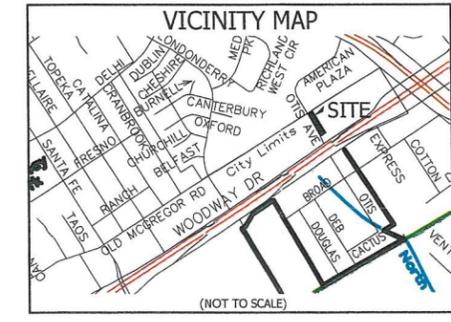
**THENCE** North 57 degrees 17 minutes 19 seconds East, 96.64 feet with the Northwest line of said 0.93 acres and the Southeast line of said Old McGregor Road to a 3/8 inch steel rod found for the North corner of said 0.93 acres and the West corner of Lot 1, Block 1 of the La Quinta Inn and Suites - Waco Mall Addition as per plat recorded in M.C.C.D. 2007006956 of said O.P.R.M.C.T.;

**THENCE** South 33 degrees 21 minutes 11 seconds East, 414.00 feet with the common line of said 0.93 acres and said Lot 1 to a x-cut found for the East corner of said 0.93 acres and the South corner of said Lot 1, being in the Northwest line of Woodway Drive from which a 1/2 inch steel rod found bears North 56 degrees 37 minutes 37 seconds East, 110.14 feet for reference;

**THENCE** South 56 degrees 39 minutes 56 seconds West, 99.49 feet with the Southeast line of said 0.93 acres and the Northwest line of said Woodway Drive to a PK nail found with washer stamped "WALKER" for the South corner of said 0.93 acres, being in the intersection of the Northwest line of said Woodway Drive and the Northeast line of said Otis Avenue;

**THENCE** North 32 degrees 57 minutes 31 seconds West, 415.06 feet with the Southwest line of said 0.93 acres and the Northeast line of said Otis Avenue to the **POINT OF BEGINNING** and containing **0.933 acres** of land.

Bearings, distances, and acreage are grid, NAD83 State Plane Coordinate System, Texas Central Zone 4203.



STATE OF TEXAS  
COUNTY OF McLENNAN

The Lienholder signed below hereby acknowledges that they have reviewed the subdivision of the property described in the above dedication and are familiar with the effect of that subdivision on property on which they hold a deed of trust. Those signing below hereby concur in and join in the dedication of the subdivision of the property described in the above dedication.

By: \_\_\_\_\_  
Friedrich E. Matthies, Executive VP

Property on which you hold a Deed of Trust: All that tract of land described in a deed of trust recorded in Document No. 2019003826 of the Official Public Records of McLennan County, Texas.

NAME OF DEED OF TRUST HOLDER:  
Fist National Bank of McGregor  
P.O. Box 387  
McGregor, Texas 76657

STATE OF TEXAS  
COUNTY OF McLENNAN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, Friedrich E. Matthies, known to me to be the person whose name is subscribed to the foregoing instrument and he acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the \_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas

My Commission Expires \_\_\_\_\_

LEGEND

● 1/2" Steel Rod Found Unless Otherwise Noted	⊕ Water Valve
⊙ PK Nail Found	⊞ Electric Box
⊗ X-Cut Found	⊕ Sanitary Sewer Manhole
⊛ Light Pole	⊕ Storm Drain
⊖ Power Pole	⊕ Electric Meter
⊗ Water Meter	⊕ Telephone Pedestal
⊕ Guy Wire	
⊕ Fire Hydrant	

M.C.C.D. McLennan County Clerk's Document  
O.P.R.M.C.T. Official Public Records McLennan County, Texas

OWNER'S DEDICATION

Jeton Haxhijaj and Bahrije Haxhijaj, being the owners of the tract of land shown hereon, do hereby dedicate to the public forever all streets, alleys, parks, easements and other land intended for public use.

Jeton Haxhijaj  
405 Navajo Trail  
McGregor, Texas 76657

Bahrije Haxhijaj  
405 Navajo Trail  
McGregor, Texas 76657

STATE OF TEXAS  
COUNTY OF McLENNAN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, Jeton Haxhijaj, known to me to be the person whose name is subscribed to the foregoing instrument and he acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the \_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas

My Commission Expires \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF McLENNAN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, Bahrije Haxhijaj, known to me to be the person whose name is subscribed to the foregoing instrument and she acknowledged to me that she executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the \_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas

My Commission Expires \_\_\_\_\_

This area reserved for county recordation information.

NOTES:

1) Proposed land use is commercial.

OWNER:  
Jeton Haxhijaj and Bahrije Haxhijaj  
405 Navajo Trail  
McGregor, Texas 76657  
Submission date:  
May 13, 2020

NOTE: Approval of this preliminary plat does not approve or disapprove any land use now or in the future or guarantee availability or adequacy of water supply or sewage transportation, treatment or disposal.

Approved by the City of Woodway on the \_\_\_\_ day of \_\_\_\_\_ A.D. 2020.

City Secretary \_\_\_\_\_

Chairman, Planning and Zoning Commission \_\_\_\_\_

PLAT NOTES:

1. Preliminary plat for inspection purposes only. Not for recordation.  
Not for use in construction of improvements.  
2. Electricity provided by Engine Resources.  
3. Water and Sewer service provided by City of Woodway, CCN# 10022.

**PRELIMINARY PLAT**

**LOT 1, BLOCK 1 LUAN ADDITION TO THE CITY OF WOODWAY**

BEING ALL OF THAT CALLED 0.93 ACRES OF LAND DESCRIBED IN A DEED TO JETON HAXHIJAJ AND BAHRIJE HAXHIJAJ AS RECORDED IN McLENNAN COUNTY CLERK'S DOCUMENT 2019003825 OF THE OFFICIAL PUBLIC RECORDS OF McLENNAN COUNTY, TEXAS.

NOTES:  
1. Bearings, distances, and acreage are grid, NAD83 State Plane Coordinate System, Texas Central Zone 4203.  
2. No flood zone determination was made as part of this survey.

1519 Job No.: 9382	Drawn By: TAD
Sheet 1 of 1	Reviewed By: JDD
Property Address: 6025 Woodway Drive Woodway Texas 76712	Prepared For: Sterling Architects

I hereby certify that I made an actual and accurate survey on the ground of the platted land and all monuments shown hereon noted as placed in connection with this subdivision were properly placed under my personal supervision, and pre-existing monuments and pins are noted in accordance with the subdivision regulations of the City of Woodway, Texas, and in accordance with all applicable rules, regulations and requirements of the Professional Land Surveying Practices Act and the General Rules of Procedure and Practices promulgated by Texas Board of Professional Land Surveying, and within the tolerances allowed therein and thereby. Permanent monuments will be set after construction is completed.

Signed this \_\_\_\_ day of \_\_\_\_\_ 2020

**Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.**

James David Dossey  
R.P.L.S. 6112

Purpose: **INFORMAL REVIEW**

Date of Release: \_\_\_\_\_, 2020

This survey may only be used for the original transaction for which it was created. Digital or photostatic reproductions of this survey may not be used for subsequent transactions. This survey is only valid with the presence of a raised impression seal.

**1519**  
SURVEYING & ENGINEERING  
1519LLC.com  
214-484-8586

CENTRAL TEXAS  
5054 Franklin Ave., Ste. A  
Waco, TX 76710  
254-776-1519  
DALLAS / FT. WORTH  
1200 W. Magnolia, Suite 300  
Ft. Worth, TX 76104  
214-484-8586

TBPLS# 10193968 TBPE# F-17299 TBPLS# 10194351 TBPLS# 10194283

1519  
JUN 15 2020  
ANORAK

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## OPEN MEETINGS ACT RESOLUTION

**RESOLVED**, that it is hereby officially found and determined that the meeting at which this resolution is adopted was noticed and has been open to the public as required by law.

**PASSED AND APPROVED** this the 14<sup>th</sup> day of July 2020.

**THE CITY OF WOODWAY, TEXAS**

By \_\_\_\_\_  
**CHAIR**

**ATTEST:**

\_\_\_\_\_  
**SECRETARY**